

**TOWN OF AUSTERLITZ**

Columbia County  
New York

**Reference Material**

OCT 07 2021

Lee Tilden

Planning Board Meeting  
Planning Board Chairman

**Planning Board Meeting/Public Hearing  
October 7, 2021  
7:00 p.m.**

**\*\*\*\*\*AGENDA\*\*\*\*\***

- 1.) Public Hearing: Application PL-2021-11 Ballinger Subdivision**
- 2.) Open Regular Planning Board Meeting**
- 3.) Moment of Silence, Followed by the Pledge of Allegiance**
- 4.) Roll Call**
- 5.) Minutes**
- 6.) Old Business**
  - A.) PL-2021-03 Boundary Line Adjustment Vieni**
  - B.) Proposed Boundary Line Adjustment by Olynek**
- 9.) New Business**
  - A.) PL-2021-12 Slotnick Ground Mounted Solar**
  - B.) PL-2021-13 American Tower – Ground Mount/Tower Modification**
- 10.) Public Comment**
- 11.) Subdivision Law Proposal**
- 12.) Adjournment**

Town of Austerlitz  
Planning Board Meeting  
September 2, 2021

Reference Material  
OCT 07 2021  
Planning Board Meeting

Present: Lee Tilden, Chair, Deborah Lans, Eric Sieber, Jane Magee and Perry Samowitz, Members. Joseph Catalano, Attorney for the Town and Angela Rothermel, Planning Board Clerk also present.

Public Hearing for Planning Board Project PL-2021-10 Site Plan Special Use Permit/Solar for Powers

Public Hearing called to order at 7:00 p.m.

The completed application was received, the Public Hearing was published and the Certified mailings went out to the abutting property owners. The Planning Board Clerk received two emails in favor of the Solar project. The Representative explained that the solar array will provide energy to the home and will be the exact size for what the home currently uses. The ground mounted solar array is inside of a field, fairly distant from the view of neighbors and the roadway. The property is shielded naturally by hills and the existing tree line. The Board members reviewed the new map provided by the Representative. The Board determined that it falls within the setbacks of the code. Attorney Catalano asked Chairman Tilden to read the emails in support of the solar project. A member of the public asked to review the plan and speak with the representative, there was no opposition regarding the project. Chairman Tilden stated that hearing will remain open for about 10 to 15 more minutes during the regular meeting in case people are late in arriving.

Regular Meeting called to order at 7:07 p.m.

Moment of Silence, followed by Pledge of Allegiance.

**Minutes**

A motion to accept the September 2021 Public Hearing and Regular Planning Board Meeting minutes was made by P. Samowitz and seconded by D. Lans.

Voice vote

Lee Tilden: yes

Deborah Lans: yes

Eric Sieber: yes

Perry Samowitz: yes

Jane Magee: yes

Motion carried 5:0

**Old Business**

**Planning Board Application PL-2021-03 Boundary Line Adjustment Vieni**

The property owner has until close of meeting next month, October 7<sup>th</sup>, to submit documents or the applicant will have to reapply.

OCT 07 2021

Planning Board

**Proposed Boundary Line Adjustment by Olynek**

The project will remain on the agenda.

As no further comments were made, a motion to close the Public Hearing for the Powers solar project was made by D. Lans and seconded by J. Magee.

Roll Call

Lee Tilden: yes

Deborah Lans: yes

Eric Sieber: yes

Perry Samowitz: yes

Jane Magee: yes

Motion carried 5:0, Public Hearing closed at 7:20 p.m.

The application has been determined to be complete and the Public Hearing has been closed.

A motion to approve, by resolution, the revised site plan submitted for Emily Powers 417 Rigor Hill Road Ghent NY, 12075 proposed by PV Ground Mounted Solar Installation, with the condition that no building may commence until building permit has been issued by code enforcement officer of the Town of Austerlitz, was made by J. Magee and seconded by E. Sieber.

Roll Call

Lee Tilden: yes

Deborah Lans: yes

Eric Sieber: yes

Perry Samowitz: yes

Jane Magee: yes

Motion carried 5:0

**New Business****Planning Board Application PL-2021-11 Ballinger Subdivision**

Mitchell Khosrova presented the application and explained the project to the Board members.

The Board members reviewed the drawings and spoke with Mr. Khosrova regarding the parcel being subdivided and the deed. Both parcels are on Angell Hill Road. One parcel has a house on it and is smaller than the other. The owner is requesting to subdivide and give the larger parcel to his son. Attorney Catalano and Mr. Khosrova spoke about the deed and the right of first refusal.

A motion to accept the application as complete made by E. Sieber seconded by P. Samowitz

Roll call

Lee Tilden: yes

Deborah Lans: yes

Eric Sieber: yes

Perry Samowitz: yes

Jane Magee: yes

Motion carried 5:0

A motion to designate application PL-2021-11 an Unlisted Action for SEQRA purposes was made by J. Magee and seconded by D. Lans.

Roll call

Lee Tilden: yes

Deborah Lans: yes

Eric Sieber: yes

Perry Samowitz: yes

Jane Magee: yes

Motion carried 5:0

**Reference Material**

OCT 07 2021

**Planning Board Meeting**

A motion to set a public hearing, as the first order of business at the October 7th meeting, for Planning Board Application Ballinger PL-2021-11 was made by E. Sieber and seconded P. Samowitz.

Roll call

Lee Tilden: yes

Deborah Lans: yes

Eric Sieber: yes

Perry Samowitz: yes

Jane Magee: yes

Motion carried 5:0

**New Subdivision Law Proposal**

The Board members reviewed P. Samaowtiz proposal for a preamble and discussed the process of updating the Subdivision Law. Joe read the vision statement in the Town Comprehensive Plan which mentions rural as a character and/or adjective and describes the Town that way but does not explain specifically what is meant by rural. If the Board does not use the word rural, all documents must be changed to match the new language. Chairman Tilden explained that the Zoning Code and Subdivision Law refer to the Comprehensive Plan, in conformity of or in adherence to. There was a general discussion regarding the Vision Statement of the Subdivision Law. J. Catalano explained that updating the Subdivision Law will give the Planning Board a little more of a say. The Board members discussed potential changes and updates to the current law as well as new ways to inform abutting property owners of pending applications. The Board discussed the potential of Public Hearing signs to be placed at the property of the project for all to see. Attorney Catalano explained that the Board may take another month to complete its review, iron out all the details, and propose revisions to the draft law. The recommendations will then need to be made to the Town Board.

**NYS legislature Special Session**

Attorney Catalano explained to the Board that authorization for remote public meetings has been reinstated in recent State legislation through January 15, 2022. The Board members discussed their options regarding the monthly Planning Board meeting. A motion to have a Hybrid meeting on October 7<sup>th</sup> 2021 was made by E. Sieber and seconded by J. Magee, carried unanimously. [Note: Since the September meeting, it has been decided that the Board cannot hold a hybrid meeting sue to lack of the necessary equipment and will need to continue to meet in person or go fully remote.] The next meeting will be held in person on October 7<sup>th</sup>, 2021.



**Adjournment**

A motion to adjourn was made by J. Magee and seconded by P. Samowitz

Roll Call

Lee Tilden: yes

Deborah Lans: yes

Eric Sieber: yes

Perry Samowitz: yes

Jane Magee: yes

Motion carried 5:0 Meeting adjourned at 8:34p.m.

Respectfully Submitted,

Angela Rothermel, Planning Board Clerk

**Reference Material**

OCT 07 2021

**Planning Board Meeting**

PL-2021-11

Ballinger

Reference Material

LAW OFFICE OF MITCHELL KHOSROVA

OCT 07 2021

Planning Board Meeting



August 11, 2021

**VIA PERSONAL DELIVERY**

Chairman Tilden and Members of the  
Town of Austerlitz Planning Board  
Town of Austerlitz Town Hall  
816 Route 203  
P.O. Box 238  
Spencertown, New York 12165

Re: Subdivision of the Lands of Douglas Ballinger – Angell Hill Rd., Austerlitz  
Tax Map ID: 76.00-1-23.1

Dear Chairman Tilden and Members of the Planning Board:

Please be advised that I am representing Douglas Ballinger (the "Applicant") in connection with this matter. The Applicant owns a 51.816-acre parcel on Angell Hill Road in the town of Austerlitz and wishes to subdivide the parcel into two smaller parcels, being approximately 29.089 acres and 22.7 acres, respectively.

Enclosed the Board will find five copies of the Planning Board application, SEQRA short form, copies of the survey map, and relevant deeds.

Please let us know if the Board requires anything else to reach a determination regarding the subdivision approval.

Very truly yours,

A handwritten signature in black ink, appearing to read "Mitchell Khosrova".

Mitchell Khosrova

Enclosure  
cc: Client

Reference Material

OCT 07 2021

Town of Austerlitz  
Planning Board  
Application for Subdivision Review

Planning Board Meeting

Application Date: 8/10/21

Applicant: (Property Owner)

Name: Douglas Ballinger Email: douglas@themudclub.com

Street Address: 43 M. Hill Rd Mailing Address: \_\_\_\_\_

City: Woodstock State: VT Zip: 12498 Phone Number: (917) 346-0056

Representative: (If Any)

Name: Mitchell Khosravi, Esq. Email: mitche@mtknylaw.com

Phone Number: (518) 392-3329

Surveyor or Engineer:

Name: R. Sardo Land Surveying Services, PLLC (Richard Sardo)

Phone Number: (518) 821-9547 License Number: 050560

Tax Map Number: 76. -1-23.1

Property Location: (Brief Description of Location)

Vacant land on Angell Hill Road, Austerlitz  
- Approx. 51.816 acres

Names of Abutting Property Owners:

Philip + Anita T. Pearlman, Susan P. Grybis, Debra H. Swards,  
Mary Ahern, Stephen + Katee Scobie, Gray Michael Ballinger,  
Talkin Family Trust

Easements or Restriction:

barrier agreement, right of first refusal

The undersigned hereby requests approval by the Planning Board of the above identified subdivision Plat.

Signature: Mitchell Khosravi

Title: attorney

Date: 8/10/21

FOR OFFICE USE ONLY

SUBMISSION DATES and APPROVALS

Applic, Fees &  
Preliminary

Public  
Hearing

SEQRA  
Determination

Final  
Approval

Project ID \_\_\_\_\_

617.20  
Appendix B  
Short Environmental Assessment Form

Reference Material

OCT 07 2021

Planning Board Meeting

Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: Subdivision of the Lands of Douglas Ballinger							
Project Location (describe, and attach a location map): Vacant land on Angell Hill Rd, Asterlitz Tax map I.D. 76-1-23.1							
Brief Description of Proposed Action: Subdivide 51.816 acre Parcel into 2 smaller parcels - approximately 29.089 acres + 22.7 acres respectively							
Name of Applicant or Sponsor: Douglas Ballinger		Telephone: (917) 346-0056					
		E-Mail: douglas@themodclub.com					
Address: 43 Mill Hill Road							
City/PO: Woodstock		State: NY	Zip Code: 12498				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1"><tr><td>NO</td><td>YES</td></tr><tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td></tr></table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1"><tr><td>NO</td><td>YES</td></tr><tr><td><input checked="" type="checkbox"/></td><td><input type="checkbox"/></td></tr></table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action?		51.816 acres					
b. Total acreage to be physically disturbed?		51.816 acres					
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		51.816 acres					
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input checked="" type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

# Reference Material

		NO	YES	N/A
5. Is the proposed action,				
a. A permitted use under the zoning regulations?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. Consistent with the adopted comprehensive plan?		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?			NO	YES
		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?			NO	YES
If Yes, identify: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. a. Will the proposed action result in a substantial increase in traffic above present levels?			NO	YES
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Are public transportation service(s) available at or near the site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Does the proposed action meet or exceed the state energy code requirements?			NO	YES
If the proposed action will exceed requirements, describe design features and technologies: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Will the proposed action connect to an existing public/private water supply?			NO	YES
If No, describe method for providing potable water: <u>N/A - vacant</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action connect to existing wastewater utilities?			NO	YES
If No, describe method for providing wastewater treatment: <u>N/A - vacant</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?		<input checked="" type="checkbox"/>	NO	YES
b. Is the proposed action located in an archeological sensitive area?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?		<input checked="" type="checkbox"/>	NO	YES
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____				
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:				
<input type="checkbox"/> Shoreline <input checked="" type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban				
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		<input checked="" type="checkbox"/>	NO	YES
16. Is the project site located in the 100 year flood plain?		<input checked="" type="checkbox"/>	NO	YES
17. Will the proposed action create storm water discharge, either from point or non-point sources?		<input checked="" type="checkbox"/>	NO	YES
If Yes,				
a. Will storm water discharges flow to adjacent properties?		<input type="checkbox"/> NO	<input type="checkbox"/> YES	
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?		<input type="checkbox"/> NO	<input type="checkbox"/> YES	
If Yes, briefly describe: _____				

		Reference Material	
		NO	YES
18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: <u>Mitchell Khosrova</u> Date: <u>8/10/21</u> Signature: <u>M. Khosrova</u>			

**Part 2 - Impact Assessment.** The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing:	<input type="checkbox"/>	<input type="checkbox"/>
a. public / private water supplies?	<input type="checkbox"/>	<input type="checkbox"/>
b. public / private wastewater treatment utilities?	<input type="checkbox"/>	<input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

Reference Material	No, or small impact may occur	Moderate to large impact may occur
OCT 07 2021		
Planning Board Meeting		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance.** The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<div> <div>Name of Lead Agency</div> <div>Date</div> </div>	
<div> <div>Print or Type Name of Responsible Officer in Lead Agency</div> <div>Title of Responsible Officer</div> </div>	
<div> <div>Signature of Responsible Officer in Lead Agency</div> <div>Signature of Preparer (if different from Responsible Officer)</div> </div>	

PRINT

RESET



**AFFIDAVIT OF PUBLICATION**

*Hudson Register Star*

**Reference Material**

**State of New York,**

OCT 07 2021

**County of, Columbia**

Planning Board Meeting

The undersigned is the authorized designee of **Hudson Register Star**, a **Daily Newspaper** published in **Columbia** County, New York. I certify that the public notice, a printed copy of which is attached hereto, was printed and published in this newspaper on the following dates:

September 16, 2021

This newspaper has been designated by the County Clerk of **Columbia** County, as a newspaper of record in this county, and as such, is eligible to publish such notices.

*Eliot T. Putnam*

Signature

Eliot T. Putnam

Printed Name

Subscribed and sworn to before me,

This 22 day of September 2021

*Douglas W. Rea*

Notary Signature

Notary Public Stamp



Town of Austerlitz

**AFFIDAVIT OF PUBLICATION**

*Hudson Register Star*

NOTICE OF PUBLIC HEARING  
TOWN OF AUSTERLITZ PLANNING BOARD

PLEASE TAKE NOTICE that the Planning Board of the Town of Austerlitz will hold a Public Hearing on a minor subdivision application for property located on Angel Hill Road in the Town of Austerlitz (Tax Map #76.-1-23.1) owned by Douglas Ballinger. The applicant proposes to divide the existing 51.8-acre parcel into two parcels of 29.089 and 22.7 acres in size for purposes of conveying the larger parcel for single-family dwelling purposes. The subject property is located in the rural residential zoning district. The Public Hearing on the application will be held on October 7, 2021 at 7:00 pm for the purpose of providing an opportunity for all those wishing to comment on this application. Written comments will also be accepted at the hearing or prior to the hearing via email to the Planning Board Clerk. In-person attendance to this hearing is required - masks required for unvaccinated attendees. If you wish to review a copy of the application, please contact the Planning Board Clerk, Angela Rothermel at 518-392-3260 or at [arothermel@austerlitzny.com](mailto:arothermel@austerlitzny.com).  
By Motion of the Planning Board of the Town of Austerlitz

**Reference Material**

OCT 07 2021

Planning Board Meeting

OFFICE OF LISA LEWICKI  
COLUMBIA COUNTY CLERK  
560 WARREN ST., HUDSON, N.Y. 12534  
(518) 828-3339

379 1092

Reference Material

OCT 07 2021

Planning Board Meeting

COLUMBIA COUNTY  
RECORDING PAGE

Return To:

JOHN CONNOR JR ESQ  
11 S 4TH STREET  
PO BOX 427  
HUDSON NY 12534

JUL 06 2001

BALLINGER  
ALEXANDRA  
BALLINGER  
DOUGLAS

Index LAND RECORDS

Book 00379 Page 1086

No. Pages 0007

Instrument DEED

Date : 5/25/2001

Time : 12:16:40

Control # 200105250028

DOC #

DOC # 07 2001 002383

Employee ID CLERK05

REC FEES	\$	26.00
DOC STAMPS	\$	.00
	\$	.00
	\$	.00
	\$	.00
	\$	.00
REC MGMT	\$	5.00
E & A	\$	25.00
MISC	\$	5.00
MISC2	\$	.00
Total:	\$	61.00

STATE OF NEW YORK  
COLUMBIA COUNTY

TRANSFER TAX

WARNING: DO NOT DETACH!!  
THIS SHEET CONSTITUTES THE CLERKS ENDORSEMENT  
REQUIRED BY SECTION 316-a(5) & SECTION 319 OF  
THE REAL PROPERTY LAW OF THE STATE OF NY.

TRANSFER AMT \$ .00

TRANSFER TAX \$ .00

LISA LEWICKI  
COUNTY CLERK

*Lisa Lewicki*

◇◇ THIS IS NOT A BILL ◇◇

379 1088

NY Quitclaim Deed

Reference Material

OCT 07 2021

Planning Board Meeting

THIS INDENTURE, made the 25 day of  
May, Two Thousand and One,

Between

ALEXANDRA BALLINGER  
268 Angell Hill Road  
Chatham, NY 12037

Party of the First Part, and

DOUGLAS BALLINGER  
268 Angell Hill Road  
Chatham, NY 12037

Party of the Second Part,

WITNESS, that the party of the first part, in consideration of one dollar (\$1.00) lawful money of the United States, paid by the party of the second part, does hereby remise, release and quitclaim, unto the party of the second part, his heirs and assigns forever,

PARCEL I

ALL that piece or parcel of unimproved land situate in the Town of Austerlitz, County of Columbia, State of New York, bounded and described as follows:

BEGINNING at a point in the northeasterly corner of lands reserved by Byron S. Davis in that certain deed of conveyance to George Robinson and Gladys S. Robinson, his wife, dated April 29, 1971 and recorded in the Columbia County Clerk's Office in Book 478 of Deeds at Page 28, said point being also shown as a corner in the easterly line of the 71.79 acres of land formerly owned by Albert Wessner, as shown on that certain map by James M. Duffy dated May 7, 1951 and running thence North 85 deg. West 6.52 chains; thence North 12 deg. West 7.33 chains; thence North 18 deg. East 1.15 chains; thence North 27 deg. 15' East 3.80 chains; thence North 62 deg. East 1.67 chains; thence North 46 deg. East 3.11 chains; thence North 56 deg. 75' East 1.32 chains; thence North 72 deg. 30' East 1.54 chains; thence South 83 deg. East 1.47 chains; thence in a southerly direction to the point and place of beginning.

OCT 07 2021

Planning Board Meeting

BEING ALSO DESCRIBED AS FOLLOWS:

ALL that piece or parcel of vacant land situate in the Town of Austerlitz, County of Columbia, State of New York is bounded and described as follows:

BEGINNING at an iron rod set in a stone wall, said iron rod set being on the property line of lands of Jarmo & Margaret Moore Maunu on the east, lands of Carl S. & Sharon F. Matuszek on the southwest and the herein described parcel on the northwest. Thence along lands of Carl S. & Sharon F. Matuszek and partly along a stone wall S85-40-36W 130.34 feet and S85-22-25W, 204.76 feet. Thence partly along lands of Matuszek and partly along lands of John L. & Jean McComb Campbell Beaven S88-20-16W 95.26 feet to an iron rod set in a stone wall intersection. Thence continuing along lands of Beaven and a stone wall N24-40-49W 126.71 feet. Thence continuing along lands of Beaven and partly along the remains of a wire fence N20-09-41W 354.68 feet to an iron rod set, N8-52-18E 75.90 feet, N18-07-18E 250.80 feet to the base of an iron rod set in stones, N52-52-18E 110.22 feet, N 36- 52-18E 205.26 feet, N47-07-18E 87.12 feet, N63-22-18E 101.64 feet and N87-52-18E 97.02 feet to an iron rod set. Thence along lands conveyed by Ruth Wald to Alexandra Ballinger (Book 788 of Deeds at Page 57) and along a line of no physical bounds S2-46-49E 434.08 feet. Thence along lands of Jarmo & Margaret Moore Maunu S32-27-32W 52.17 feet to an iron rod set, S1-19-05E 340.30 feet and S11-23-55E 258.80 feet to the point of beginning, containing 10.93 acres of land.

ALL as shown on a survey map entitled "Property to be Acquired by Alexandra Ballinger, Parcels A & B Lands of Leila Seigel, Parcels C & D Lands of Ruth Wald" dated December 27, 1994 and revised January 20, 1995 by James Tomaso, N.Y.S. Lic. 3049826 L.S.

BEING a portion of the premises conveyed by Deed from Helen Fish to Ruth Wald dated February 28, 1964 and recorded in the Columbia County Clerk's Office on March 6, 1964 in Liber 402 of Deeds at page 121; and a second deed from Leila Seigel to Ruth Wald by Deed dated October 28, 1966 and recorded in the Columbia County Clerk's Office on November 25, 1966 in Liber 429 of Deeds at Page 599.

BEING the same premises conveyed by Ruth Wald to Alexandra Ballinger by deed dated February 26, 1996 and recorded in the Columbia County Clerk's Office on March 15, 1996 in Liber 820 of Deeds at page 311.

## **PARCEL II**

**PARCEL A** - ALL that piece or parcel of vacant land situate in the Town of Austerlitz, County of Columbia, State of New York is bounded and described as follows: BEGINNING at a point on the northwesterly line of Angel Hill Road, a town road, said point being on the property line of lands of Martin J. & Naomi Goldstein on the northwest and the herein described parcel on the southwest, said point also bears N60-32-12W from and 33.11 feet distant from an iron rod set at the most northerly point of Parcel B, hereinafter described. Thence along the northwesterly line of Angel Hill Road S34-

OCT 07 2021

04-41W 96.93 feet, S29-15-51W 177.86 feet, S32-51-48W 216.59 feet, thence on a curve to the right and tangent to the previous course having a radius of 533.50 feet for a length of 125.23 feet and S46-18-45W 125.47 feet. Thence along lands of Ruth Wald N38-32-54W 1208.07 feet to the southeasterly side of an old highway, and lands of Reginald M. Nettleton. Thence along the southeasterly side of the old highway and lands of Reginald M. Nettleton and partly along the remains of a wire fence N49-34-06E 230.93 feet, N42-49-06E 108.70 feet and N38-51-06E 405.63 feet to an iron pipe found. Thence along lands of Philip & Anita T. Pearlman and partly along the remains of a wire fence and partly along a stone wall S58-05-24E 31.05 feet to an iron pipe found, S9-55-14E 761.0 feet to an iron pipe found and S77-37-12E 254.32 feet. Thence continuing partly along lands of Pearlman and partly along lands of Martin J. & Naomi Goldstein S75-42-12E 272.38 feet to an iron pipe found. Thence continuing along lands of Goldstein S75-42-12E 8.30 feet to the point of beginning. Said parcel contains 15.150 acres.

PARCEL B - ALL that piece or parcel of vacant land situate in the Town of Austerlitz, County of Columbia, State of New York is bounded and described as follows: BEGINNING at an iron rod set on the southeasterly side of Angel Hill Road, a town road, said iron rod set being on the property line of lands of Richard A. & Wendy L. Best on the northeast and the herein described parcel on the southeast, said iron rod set also being the most northerly point of the herein described parcel as referred to for Parcel A, above described. Thence along lands of Richard A. & Wendy L. Best and partly along a stone wall S73-11-48E 105.25 feet, S68-32-03E crossing a marshy area 72.35 feet, S72-37-43E 301.05 feet and S74-42-10E 82.08 feet to an iron pipe found in a stone wall intersection. Thence along lands of John E. Sr. & Jeanne M. Anderson and along a stone wall S11-39-18W 67.66 feet and S8-23-41W 284.44 feet. Thence along lands of Ruth Wald N72-30-39W 698.66 feet to the southeasterly side of Angel Hill Road. Thence along the southeasterly side of Angel Hill Road N32-51-48E 83.26 feet, N29-15-51E 177.51 feet and N34-04-41E 98.21 feet to the point of beginning. Said parcel contains 5.000 acres.

THE above two parcels of land being all of Parcel A and Parcel B as shown on a survey map entitled "PROPERTY TO BE ACQUIRED BY ALEXANDRA BALLINGER, PARCELS A & B LANDS OF LEILA SEIGEL, PARCELS C & D OF RUTH WALD" dated December 27, 1994 and revised January 20, 1995 by James Tomaso, N.Y.S. Lic. No. 049826 L.S.

BEING the premises conveyed to Leila Seigel by Deed from Leila Seigel, as Administratrix of the Estate of Janet Seigel, deceased, dated May 24, 1960 and recorded in the Columbia County Clerk's Office on June 1, 1960 in Liber 365 of Deeds at Page 117; and a second Deed from Ruth Wald dated October 28, 1966 and recorded in the Columbia County Clerk's Office on November 25, 1966 in Liber 429 of Deeds at Page 595.

BEING the same premises conveyed by Leila Seigel to Alexandra Ballinger by deed dated February 8, 1995 and recorded in the Columbia County Clerk's Office in Liber 788 of Deeds at page 63.

OCT 07 2021

Planning Board Meeting

PARCEL III

PARCEL C - ALL that piece or parcel of land with buildings and improvements thereon, situate in the Town of Austerlitz, County of Columbia, State of New York is bounded and described as follows: BEGINNING at a point on the northerly side of Angel Hill Road, a town road, said point being on the property line of lands of John A. & Edith A. Mesick on the northwest and the herein described parcel on the northeast, said point also bears N10-07-42W from and 33.21 feet distant from an iron rod set on the southeasterly side of Angel Hill Road on the property line of lands of Golden on the southwest and Parcel D, hereinafter described, on the southeast. Thence along lands of John A. & Edith A. Mesick N 10-07-42W 10.0 feet to an iron rod set, N10-07-42W 285.37 feet to an iron rod set, N 00-52-42W 89.10 feet to an iron rod set, N23-37-42W 124.08 feet to an iron rod set and N13-22-42W 425.09 feet to an iron rod set on the southeasterly side of an old highway and lands of Reginald M. Nettleton (the previous course being along the remains of a wire fence). Thence along the southeasterly side of the old highway and lands of Nettleton and along the remains of a wire fence and stone wall N40-22-46E 18.25 feet, N51-59-56E 137.57 feet, N66-42-26E 141.46 feet, N71-22-36E 199.65 feet, and N 72-03-56E 164.14, N64-36-16E 113.83 feet, N65-52-06E 156.09 feet, N62-26-06E 37.16 feet, N50-40-06E 135.76 feet, N41-02-46E 124.63 feet, N46-06-36E 98.48 feet, N49-49-16E 67.10 feet and N46-16-26E 212.44 feet. Thence along lands of Leila Seigel S38-32-54E 1208.07 feet to a point on the northwesterly side of Angel Hill Road. Thence along the northwesterly side of Angel Hill Road S46-18-45W 270.02 feet, thence on a curve to the right and tangent to the previous course having a radius of 433.50 feet for a length of 180.05 feet, S70-06-36W 993.99 feet and S73-24-26W 632.22 feet to the point of beginning, containing 44.546 acres.

PARCEL D - ALL that piece or parcel of land with buildings and improvements thereon, situate in the Town of Austerlitz, County of Columbia, State of New York is bounded and described as follows: BEGINNING at an iron rod set on the southerly side of Angel Hill Road, a town road, said iron rod set being on the property line of lands of Michael & Ann B. Golden on the southwest and the herein described parcel on the southeast, said iron rod set also bears S10-07-42E from and 33.21 feet distant from the point of beginning of Parcel C, above described. Thence along the southerly side of Angel Hill Road N73-24-26E 636.91 feet, N70-06-36E 994.94 feet, thence on a curve to the left and tangent to the previous course having a radius of 466.50 feet for a length of 193.76 feet, N46-18-45E 395.50 feet, thence on a curve to the left and tangent to the previous course having a radius of 566.50 feet for a length of 132.98 feet and N32-51-48E 134.36 feet. Thence along lands of Leila Seigel S72-30-39E 698.66 feet. Thence along lands of John E. Sr. & Jeanne M. Anderson and along a stone wall S8-23-41W 124.75 feet and S6-05-09W 195.57 feet to a point, said point bears S83-43-07E from and 0.52 feet distant from a parkway monument found. Thence along lands of The People of the State of New York, being the Taconic State Parkway S9-23-00W 213.19 feet to a point, said point bears S74-47-16W from and 3.41 feet distant from a parkway monument found, said point also being 440.9 feet distant southeasterly at right angles from station 4101+70.96 of the Taconic State Parkway baseline, thence S47-09-40W 399.40 feet to a point, said point bears N33-14-58W from and 1.97 feet distant from a parkway monument found, S63-09-40W 265.0 feet to a point, said point bears N45-02-18W from and 1.17 feet distant from a parkway monument found, S35-17-20W 295.45 feet to a point, said point bears S28-46-52W from and 0.51 feet distant from a parkway monument

found, S12-13-10E 200.0 feet to a point, said point bears S28-47-39W from and 1.23 feet distant from a parkway monument found, said point also being 234.17 feet distant southwesterly at right angles from station 4091+27.85 of the Taconic State Parkway baseline and S14-40-50W 16.19 feet to the centerline of the now or former Stever Hill Road, an old road unmaintained. Thence along the centerline of the now or former Stever Hill Road and lands of Saul & Elayne L. Cohen S79-16-12W 53.12 feet, S60-54-22W 197.59 feet and S64-45-49W 130.58 feet to an iron rod set on the northwesterly side of said road. Thence continuing along lands of Cohen and along a line of stones N10-44-10W 149.16 feet and N6-14-10W 198.0 feet to an iron rod set. Thence continuing along lands of Cohen and along a stone wall S73-30-50W 118.35 feet, S73-02-25W crossing a ditch 58.53 feet, S80-23-12W 130.43, S79-13-59W 93.06 feet and S81-31-06W 248.20 feet to an iron rod found. Thence along lands of Jarmo & Margaret Moore Maunu and partly along the remains of a wire fence and stone wall S80-55-49W 83.50 feet, N83-53-11W 180.48 feet, S81-04-19W 152.11 feet, S87-57-34W 105.43 feet, S80-54-39W 85.0 feet to the north face of a 36" oak, N83-02-06W 213.68 feet, N71-26-51W 79.19 feet to an iron rod set and along a line of stones S32-27-32W 222.39 feet to a point. Thence along reputed lands of Ruth Wald N2-46-49W 434.08 feet to an iron rod set. Thence partly along lands of John L. & Jean McComb Campbell Beaven and partly along lands of Michael & Ann B. Golden N10-07-42W crossing a stream 156.52 feet to the point of beginning.

THE above mentioned Taconic State Parkway baseline is described as follows: Beginning at station 4088+39.42, thence N13-44-15E to a 100d nail found at station 4089+91.10, thence N26-00-15E to station 4092+67.10, thence, N27-22-05E to a 100d nail found at station 4102+13.87, thence N46-45-35E to station 4107+48.10. All bearings being approximate true north per the Taconic State Parkway maps of record. Said parcel contains 52.727 acres.

THE above two parcels of land being all of Parcel C and Parcel D on a survey map entitled "PROPERTY TO BE ACQUIRED BY ALEXANDRA BALLINGER, PARCELS A & B LANDS OF LEILA SEIGEL, PARCELS C & D LANDS OF RUTH WALD" dated December 27, 1994 and revised January 20, 1995 by James Tomaso, N.Y.S. Lic. No. 049826 L.S.

THE grantor herein quitclaims any and all title she has to a 2.48 acre parcel of land contained with Parcel D on the within survey map, and lying southerly on the dotted line labeled on the survey map as "Property Line per F.M. #5786 and L562, P997 in error," which parcel is contained in the conveyance from Robert G. Berg, as Executor of the Last Will and Testament of Thomas L. Berg to Sol Cohen and Elyane L. Cohen by Deed recorded in Liber 562 at page 997, as shown on filed map no. 5786.

BEING a portion of the premises conveyed by deed from Helen Fish to Ruth Wald dated February 28, 1964 and recorded in the Columbia County Clerk's Office on March 6, 1964 in Liber 402 of Deeds at Page 121; and a second deed from Leila Seigel to Ruth Wald by deed dated October 28, 1966 and recorded in the Columbia County Clerk's Office on November 25, 1966 in Liber 429 of Deeds at Page 599.



379 1001

Reference Material

OCT 07 2021

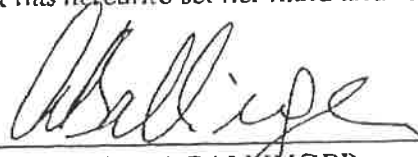
Planning Board Meeting

BEING the same premises conveyed by Ruth Wald to Alexandra Ballinger by deed dated February 8, 1995 and recorded in the Columbia County Clerk's Office in Book 788 of Deeds at page 57.

TOGETHER, with the appurtenances and all the estate and rights of the party of the first part in and to said premises;

TO HAVE AND TO HOLD, the premise granted herein granted unto the party of the second part, his heirs and assigns forever.

IN WITNESS WHEREOF, the party of the first part has hereunto set her hand and seal the day and year first above mentioned.

  
ALEXANDRA BALLINGER L.S.

STATE OF NEW YORK )  
COUNTY OF Columbia ) ss.:

On the 10th day of May, 2001, before me, the undersigned, personally appeared ALEXANDRA BALLINGER, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and she acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual, or the person on behalf of which the individual acted, executed the instrument.



R. AND R.  
JOHN CONNOR JR., ESQ.  
11 S. 4th Street  
P.O. Box 427  
Hudson, New York 12534  
1-(518)-828-2712

Coreen Ward  
Notary Public, State of New York  
No. 01 WA5073262  
Qualified in Columbia County  
Commission Expires Feb. 18, 2003



COLUMBIA COUNTY - STATE OF NEW YORK  
HOLLY C. TANNER, COUNTY CLERK  
560 Warren Street, Hudson, New York 12534

Reference Material

OCT 07 2021

COUNTY CLERK'S RECORDING PAGE

\*\*\*THIS PAGE IS PART OF THE DOCUMENT - DO NOT DETACH\*\*\*

Planning Board Meeting



BOOK/PAGE: 807 / 742  
INSTRUMENT #: 20150005766

Receipt#: 392370  
Clerk: CC  
Rec Date: 06/19/2015 10:45:32 AM  
Doc Grp: D  
Descrip: DEED (RES)  
Num Pgs: 4  
Rec'd Frm: ARCADIAN ABSTRACT

Party1: BALLINGER DOUGLAS  
Party2: TOLKIN STEPHEN AS TRUSTEE  
Town: AUSTERLITZ  
76.-1-22.

Recording:

Cover Page	5.00
Recording Fee	35.00
Cultural Ed	14.25
Records Management - Coun	1.00
Records Management - Stat	4.75
TP584	5.00
CC Supplemental Tax Form	5.00
RP5217 Residential/Agricu	116.00
RP5217 - County	9.00

Sub Total: 195.00

Transfer Tax	
Transfer Tax - State	1620.00
Transfer Tax - Columbia C	510.00

Sub Total: 2130.00

Total: 2325.00

\*\*\*\* NOTICE: THIS IS NOT A BILL \*\*\*\*

\*\*\*\*\* Transfer Tax \*\*\*\*\*  
Transfer Tax #: 1795  
Transfer Tax - One Family Residence  
Consideration: 405000.00

Transfer Tax - State	1620.00
Transfer Tax - Columbia C	510.00

Total: 2130.00

Record and Return To:

MARC GOLD ESQ  
12 HUDSON ST  
PO BOX 510  
KINDERHOOK, NY 12106  
BOX 39

WARNING\*\*\*

\*\* Information may change during the verification  
process and may not be reflected on this page.

*Holly C. Tanner*

Holly C. Tanner  
Columbia County Clerk

OCT 07 2021

Planning Board Meeting

THIS INDENTURE, made the 7 day of June, 2015

BETWEEN

DOUGLAS BALLINGER, 268 Angell Hill Road, Chatham, NY 12037,

grantor,

and

STEPHEN TOLKIN and D. GAREN TOLKIN AS TRUSTEES OF THE  
TOLKIN FAMILY TRUST, 1924 North Wilton Place, Los Angeles, CA 90068,

grantee.

**WITNESSETH**, that the grantor, in consideration of TEN (\$10.00) Dollars, paid by the grantee, hereby grants and releases unto the grantee, and the heirs or successors and assigns of the grantee forever,

**ALL** that real property described on the attachment hereto.

**TOGETHER** with all right, title and interest, if any, of the grantor in and to any streets and roads abutting the above described premises to the center lines thereof, and together with the appurtenances and all the estate and rights of the grantor in and to said premises.

**SUBJECT** to all covenants, restrictions, conditions, easements and other matters of record.

**BEING** a portion of the premises conveyed to the grantor by deed dated May 25, 2001 from Alexandra Ballinger recorded in the Columbia County Clerk's office in Cartridge 379, Frame 1086.

**TO HAVE AND TO HOLD** the premises herein granted unto the grantee, the heirs or successors and assigns of the grantee forever. **AND** the said grantor covenants that the grantor has not done or suffered anything whereby the said premises have been encumbered in any way whatever. This deed is subject to the trust provisions of Section 13 of the Lien Law.

The words "grantor" and "grantee" shall be construed to read in the plural whenever the sense of this deed so requires.

Grantor and grantee agree that any barrier (fence, stonewall, etc.) constructed between the property being sold and the remaining lands of the grantor on the north side of Angel Hill Road shown as Parcel-1 (51.816 acres) on the map referred to in the attachment shall be constructed in an aesthetic manner and by mutual agreement.

Grantee shall have a right of first refusal on the remaining lands of grantor on the north side of Angel Hill Road shown as Parcel-1 (51.816 acres) on the map referred to in the attachment. Said right applies only if grantor receives a bona fide offer on said parcel. If so, such offer shall be forwarded in writing by grantor to grantee at the address shown in this deed or to any other address which grantee has given grantor to send such offer. Grantee shall have fifteen (15) days after receipt of same to advise in writing if grantee is exercising the right to purchase same under the same terms and conditions as set forth in the offer. If the right is exercised, the closing shall take place within sixty (60) days of the right being exercised. This right of first refusal shall not apply in the event grantor deeds all or a portion of his remaining lands to an immediate family member.

RR  
Marc I. Gold


Recorded 134-  
ARCADIAN ABSTRACT COMPANY  
414 Union Street  
Hudson, N.Y. 12534  
T-13135  
(518) 822-9309

IN WITNESS WHEREOF, the grantor has executed this deed the day and year first above written. Reference Material

OCT 07 2021  
L.S.  
Planning Board Meeting  
DOUGLAS BALLINGER  
L.S.  
STEPHEN TOLKIN, Trustee  
L.S.  
D. GAREN TOLKIN, Trustee


STATE OF NEW YORK  
COUNTY OF COLUMBIA SS.:

On this 19 day of June, 2015, before me, the undersigned, a Notary Public in and for the said State, personally appeared DOUGLAS BALLINGER, personally known to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

  
Notary Public  
Francis J. ROCHE  
Notary Public, State of New York  
No. 31-4500785  
Qualified in Columbia County  
Commission Expires March 30, 2019


STATE OF NEW YORK  
COUNTY OF COLUMBIA SS.:

On this 19 day of June, 2015, before me, the undersigned, a Notary Public in and for the said State, personally appeared STEPHEN TOLKIN, personally known to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

  
Notary Public  
MARC I. GOLD  
Notary Public, State of New York  
Qual. in Columbia Co. - No. 6555905  
My Commission Expires January 31, 2019

STATE OF NEW YORK  
COUNTY OF COLUMBIA SS.:

On this 19 day of June, 2015, before me, the undersigned, a Notary Public in and for the said State, personally appeared D. GAREN TOLKIN, personally known to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

  
Notary Public  
MARC I. GOLD  
Notary Public, State of New York  
Qual. in Columbia Co. - No. 6555905  
My Commission Expires January 31, 2019

OCT 07 2021

Planning Board Meeting

## SCHEDULE A

ALL that piece or parcel of land with buildings and improvements thereon situate in the Town of Austerlitz, County of Columbia and State of New York bounded and described as follows:

Beginning at an iron rod set, said iron rod being distant 1254.13 feet westerly from an iron rod found on the dividing line of the lands of Douglas Ballinger and Diedre H. Swords and being on the northerly right of way line of Angel Hill Road, a town road; thence through aforementioned lands of Douglas Ballinger along a line of no physical bounds N 0° 26' 48" W 555.00 feet to an iron rod set; N 76° 36' 27" E 257.76 feet to an iron rod set; S 72° 43' 18" E 407.29 feet to an iron rod set and S 17° 19' 21" E 300.00 feet to an iron rod set on aforementioned northerly right of way of Angel Hill Road, a town road; thence along said northerly right of way of Angel Hill Road, a town road S 59° 36' 23" W 212.53 feet on a curve to the right with a radius 433.50 feet and length of 180.05 feet; S 83° 23' 38" W 374.31 feet to the point or place of beginning. FOR DEED PURPOSES ONLY, containing 7.923 acres.

All as shown on a survey map entitled "Property of Douglas Ballinger to be conveyed to The Tolkin Family Trust" dated August 11, 2014 by R. Sardo Land Surveying Services, PLLC.

All as is shown as Parcel 2 on a survey map entitled "Subdivision of Property of Doug Ballinger, Town of Austerlitz, Columbia County, New York" dated 2/12/15 by Richard W. Sardo N.Y.S.L.S. #050560 and recorded in the Columbia County Clerk's Office as filed Map #00-81.

**NOTES:**

1. THIS PLAN IS A PRELIMINARY PLAN AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.
2. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.
3. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.
4. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.
5. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.
6. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.
7. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.
8. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.
9. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.
10. THE PROPERTY IS LOCATED IN THE TOWN OF WESTPORT, NEW YORK.

# Reference Material

## OCT 07 2021

### Planning Board Meeting

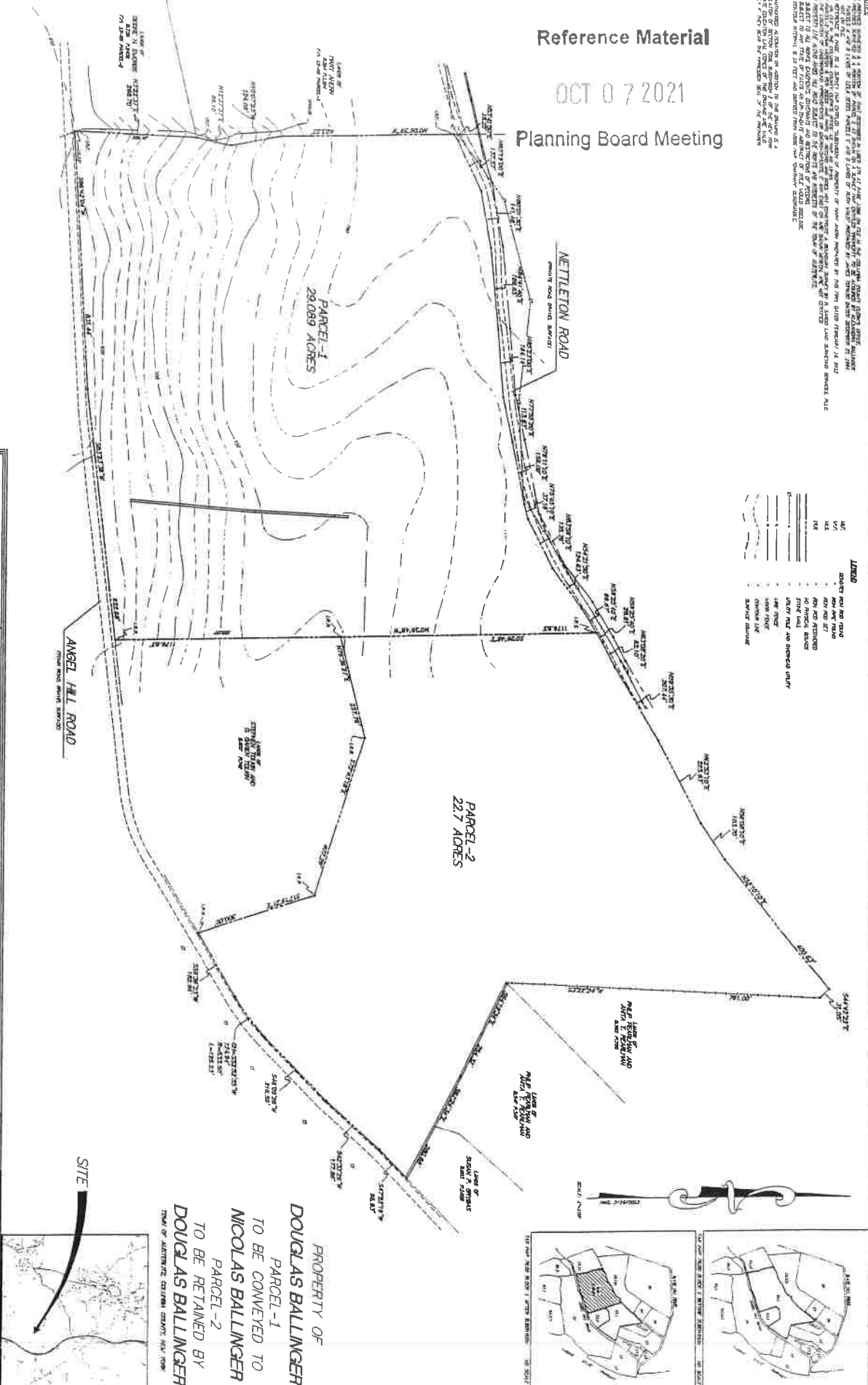
TOWN OF WESTPORT, NEW YORK					
ZONE	MIN LOT AREA	MIN LOT WIDTH	MIN FRONT SETBACK	MIN SIDE SETBACK	MIN REAR SETBACK
RAVINE RESIDENTIAL	1/2 ACRE	100 FEET	40 FEET	20 FEET	20 FEET

SAVED BY:  
A. SARDO LAND SURVEYING SERVICES, LLC  
DATE: 10/07/2021  
BY: A. SARDO  
REVISION: 1.0



PROJECT: 202101  
DATE: 10/07/2021  
BY: A. SARDO  
REVISION: 1.0

PROJECT: 202101  
DATE: 10/07/2021  
BY: A. SARDO  
REVISION: 1.0





# LAW OFFICE OF MITCHELL KHOSROVA

Reference Material

August 11, 2021

OCT 07 2021

Planning Board Meeting

**VIA PERSONAL DELIVERY**

Chairman Tilden and Members of the  
Town of Austerlitz Planning Board  
Town of Austerlitz Town Hall  
816 Route 203  
P.O. Box 238  
Spencertown, New York 12165

Re: Subdivision of the Lands of Douglas Ballinger – Angell Hill Rd., Austerlitz  
Tax Map ID: 76.00-1-23.1

Dear Chairman Tilden and Members of the Planning Board:

Please be advised that I am representing Douglas Ballinger (the “Applicant”) in connection with this matter. The Applicant owns a 51.816-acre parcel on Angell Hill Road in the town of Austerlitz and wishes to subdivide the parcel into two smaller parcels, being approximately 29.089 acres and 22.7 acres, respectively.

Enclosed the Board will find five copies of the Planning Board application, SEQRA short form, copies of the survey map, and relevant deeds.

Please let us know if the Board requires anything else to reach a determination regarding the subdivision approval.

Very truly yours,

Mitchell Khosrova

Enclosure

cc: Client

Town of Austerlitz  
812 Route 203  
Spencertown, NY 12165

Receipt #: 00001264

Date: 9/3/2021

Payer: Mitchell Khosrova

Payment Amount: \$100.00

Notes:

Fee Type	Amount
Minor Subdivision	100.00

Payment Type	Amount	Payment #
Check	100.00	1048

Reference Material

OCT 07 2021

Planning Board Meeting

TOWN OF AUSTERLITZ  
RECEIVED  
SEP 03 2021  
HIGHWAY CLERK  
COLUMBIA COUNTY

TOWN OF AUSTERLITZ  
RECEIVED  
SEP 03 2021  
HIGHWAY CLERK  
COLUMBIA COUNTY



Reference Material

OCT 07 2021

Planning Board Meeting

August 10, 2021

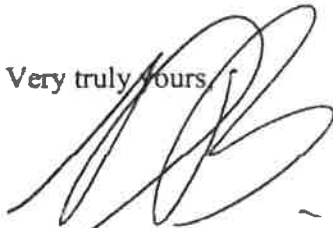
Austerlitz Planning Board  
816 Route 203  
P.O. Box 238  
Spencertown, NY 12165

Re: Authorization of Representation

Dear Members of the Board:

My name is Douglas Ballinger, I am the owner of a 51.816 acre parcel of land on Angell Hill Road in Austerlitz, and I hereby authorize my attorney, Mitchell Khosrova, Esq., to represent me on any and all matters before the Board.

Very truly yours,



Douglas Ballinger

8-12-2021

Cc: Mitchel Khosrova, Esq.

PL-2021-012

Spot Nick

Reference Material

OCT 07 2021  
Planning Board Meeting

Town of Austerlitz Planning Board  
Application for Site Plan Review/Special Use Permit



Application Date: 9 / 28 21

Approval Request for: (check all that apply)

Site Plan ☒ Site Plan Amendment ☐ Special Use Permit ☐

Applicant: Name: Loreen Harvey: Kasselman Solar, LLC. Email: LHarvey@kasselmansolar.com  
Mailing Address: 279 Broadway Bldg 2  
City: Menands State: NY Zip: 12204 Telephone: (518) 478 - 3906

Owner: If different than applicant, if more than one owner provide information for each on separate sheet  
Name: Melissa Slotnick Email: \_\_\_\_\_  
Street Address: 46 Lunde Lane  
City: Austerlitz State: NY Zip: 12017 Telephone: 347-525-7119

Project Information: Tax Map Number: 96.-1-25 Parcel Acreage 20.40

Location of Project/Street Address: 46 Lunde Lane, Austerlitz, New York 12017

Current Land Use of Site: Single-Family Residential

Current Condition of Site: Rural Residential

Character of abutting parcels: Rural Residential

Reference Material

OCT 07 2021



Planning Board Meeting  
Proposed Use(s) of site:

- ☐ Utilities ☐ Multi-family project  
☐ In-Home Business ☐ Commercial Project ☒ Other (describe use below)

Detailed Description of Proposed Use, including primary and secondary uses (use separate sheet if necessary):

Installation of a 1.32 kW (4 panels) addition to existing ground-mounted array.

Description of buildings to be used height, number of stories, square feet:

For residential projects include the number of dwelling units and size in square feet

Additional panels will increase array size by 73.39 sq ft.

Is the property within 500 feet of ?

- ☐ A municipal boundary  
☐ County or State Park or recreation either existing or proposed  
☐ State or County road or right-of-way, either existing or proposed  
☐ State or County owned building or institution  
☐ Stream or drainage channel owned by County or for which channel lines have been established  
☐ Active farm operation within an Agricultural District

If any of the above is true the site plan must also be reviewed by the County Planning Board.

Applicants Signature: 

Date: 9.28.21

FOR OFFICE USE ONLY

Date Received: \_\_\_\_\_ Project ID: \_\_\_\_\_

Preliminary Review Date: \_\_\_\_\_ Final Review Date: \_\_\_\_\_

Final Decision: \_\_\_\_\_ Site Plan Unnecessary \_\_\_\_\_ Approved  
\_\_\_\_\_ Approved with conditions \_\_\_\_\_ Denied

OCT 07 2021

Planning Board Meeting

# Short Environmental Assessment Form

## Part 1 - Project Information

**Instructions for Completing**

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Melissa Slotnick PV Array Installation			
Project Location (describe, and attach a location map): 46 Lunde Lane, Austerlitz, New York 12017			
Brief Description of Proposed Action: Installation of a 1.32 kW (4 panels) addition to existing ground-mounted array.			
Name of Applicant or Sponsor: Loreen Harvey: Kasselmann Solar, LLC.		Telephone: (518) 478 - 3906 E-Mail: LHarvey@kasselmansolar.com	
Address: 279 Broadway Bldg 2			
City/PO: Menands		State: New York	Zip Code: 12204
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Town of Austerlitz Building Permit, Town of Austerlitz Site Plan Review			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			20.40 acres .5 acres 0 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

# Reference Material

09/07/2021

Planning Board Meeting

<p>5. Is the proposed action:</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>N/A</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>
<p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>9. Does the proposed action meet or exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p>	
<p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>	
<p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>	
<p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>	

# Reference Material

OCT 07 2021

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

☒ Shoreline ☐ Forest ☐ Agricultural/grasslands ☐ Early mid-successional  
☐ Wetland ☐ Urban ☐ Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Is the project site located in the 100-year flood plan?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

17. Will the proposed action create storm water discharge, either from point or non-point sources?  
 If Yes,

a. Will storm water discharges flow to adjacent properties?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?

NO	YES
<input checked="" type="checkbox"/>	<input type="checkbox"/>

If Yes, briefly describe:

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?

NO	YES
<input type="checkbox"/>	<input type="checkbox"/>

If Yes, explain the purpose and size of the impoundment:

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?

NO	YES
<input type="checkbox"/>	<input type="checkbox"/>

If Yes, describe:

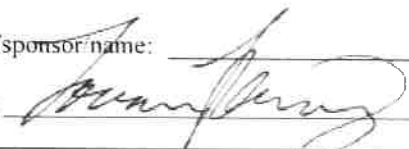
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?

NO	YES
<input type="checkbox"/>	<input type="checkbox"/>

If Yes, describe:

**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: \_\_\_\_\_ Date: \_\_\_\_\_

Signature:  Title: Permit Coordinator

PRINT FORM

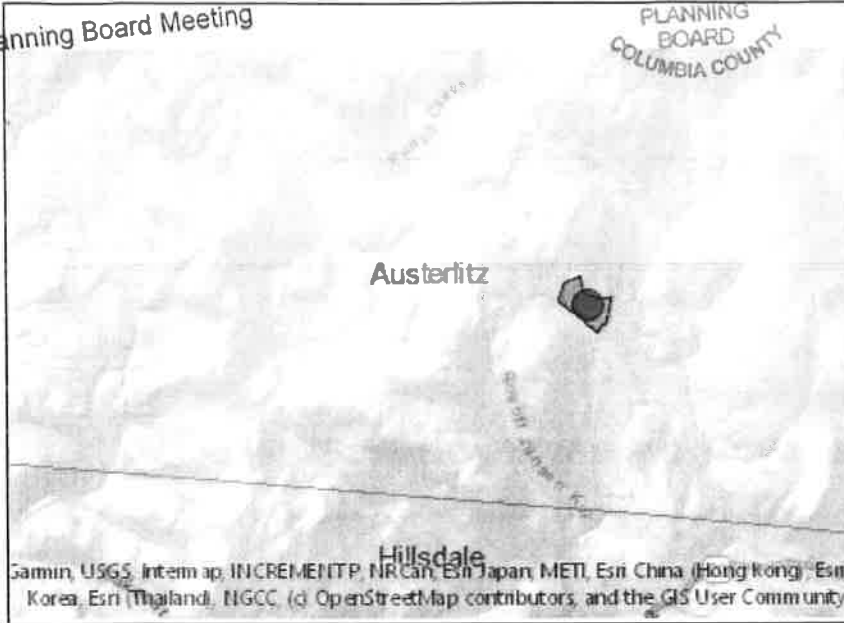
OCT 07 2021

TOWN OF AUSTERLITZ  
RECEIVED

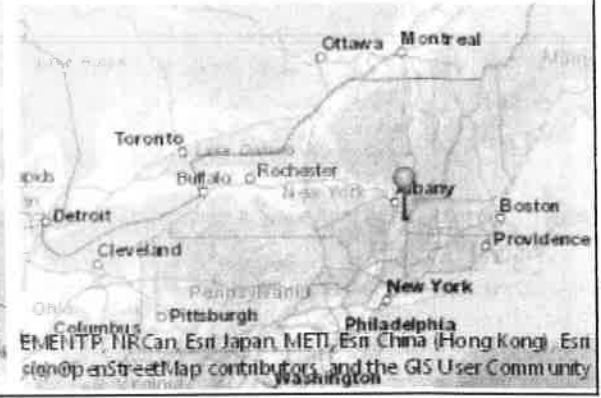
SEP 29 2021

Wednesday, September 22, 2021 11:38 AM

Planning Board Meeting

PLANNING  
BOARD  
COLUMBIA COUNTY

**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]

No

Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]

No

Part 1 / Question 12b [Archeological Sites]

No

Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]

Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.

Part 1 / Question 15 [Threatened or Endangered Animal]

No

Part 1 / Question 16 [100 Year Flood Plain]

Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

Part 1 / Question 20 [Remediation Site]

No



## Reference Material

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ <b>Planning Board Meeting</b>	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
	<input type="checkbox"/>	<input type="checkbox"/>
<b>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b> Applicant/sponsor name: _____ Date: _____ Signature: _____		

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

OCT 07 2021  
Planning Board Meeting

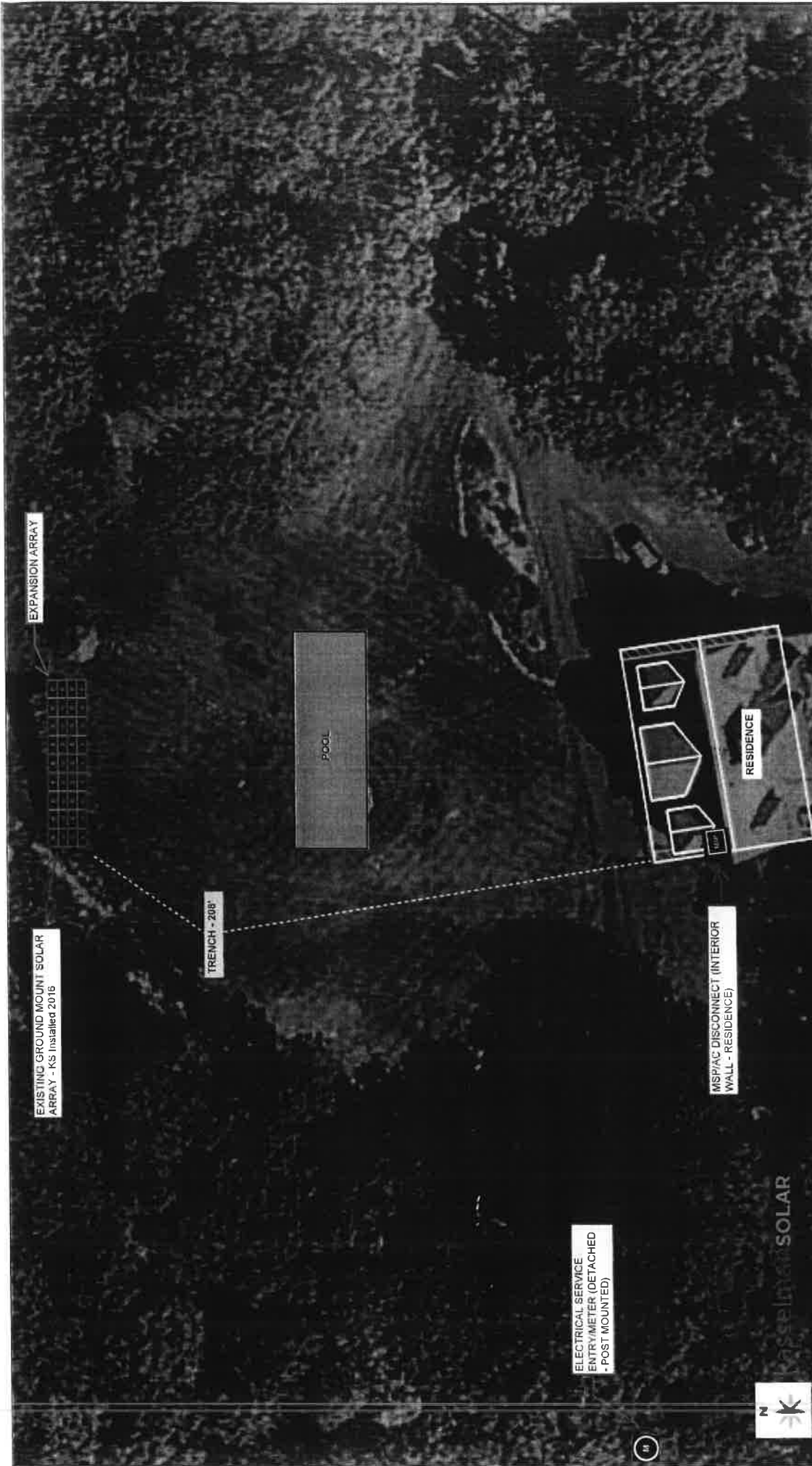
	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<div> <div>Name of Lead Agency</div> <div>Date</div> </div>	
<div> <div>Print or Type Name of Responsible Officer in Lead Agency</div> <div>Title of Responsible Officer</div> </div>	
<div> <div>Signature of Responsible Officer in Lead Agency</div> <div>Signature of Preparer (if different from Responsible Officer)</div> </div>	

PRINT

RESET



**Project and Installation Details:** EXPANSION PROJECT

**System Size DC (kW):** 1.3 kW

4 Trina Solar Energy Co., Ltd TSM-330DD06M.05(II)

4 Enphase Energy Inc. IQ 7

IRONRIDGE Racking

Existing System:  
32 SolarWorld SunModule Plus SW 245 Mono  
32 Enphase Energy Inc. M250-60-2LL-S22 (240V)  
System Size: 9.1kW

**Ground Mount Solar Facility Description:**

IronRidge - Kasselman Solar constructed Construction documents attached

Tilt @ 30-Degrees / AZIMUTH @ 180 - DEGREES (S)

Configuration (N/S x E/W): (4x1)

Max Height: - To match height of existing solar array - 8'4"

Total Sq. Ft. of Expansion: 73.4 sq. ft.

\*Enclosed IronRidge report and calculations reflect the existing array with the addition of the expansion.

**Reference Material**

Planning Board Meeting

Design Prepared by: Scott Stevens

Director of PV Design & Engineering

**Melissa Slotnick**

46 Lunde Lane

Austerlitz, NY 12017

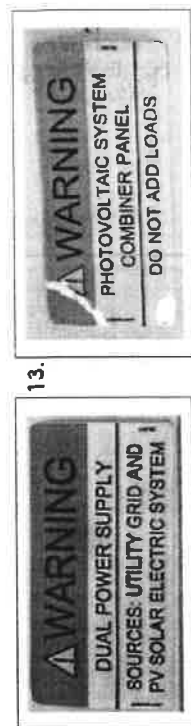
September 7th, 2021

**Stamp:** TOWN OF AUSTRALITZ RECEIVED SEP 29 2021 PLANNING BOARD AUSTERLITZ COUNTY

**Stamp:** OCT 07 2021

**Stamp:** Solar Photovoltaic Module

Electrical labels to be placed on PV equipment per NEC 690.56. Labels are site specific - please see attached labeling guide.



### PV LABELING GUIDE

1. LABEL, PV DC DISCONNECT OPERATING SPEC, PLACE 1 PER INVERTER.

2. WARNING LABEL, DC, PLACE 1 PER INVERTER AND DC JUNCTION BOX.

3. WARNING LABEL, DC, PLACE 1 EVERY 10' OF CONDUIT, REFLECTIVE.

4. LABEL INDICATING PV HAS RAPID SHUTDOWN, PLACE 1 ON METER, REFLECTIVE.

5. LABEL INDICATING MAIN BREAKER HAS BEEN DOWNSIZED, PLACE 1 NEAR MAIN.

6. WARNING LABEL, INDICATING METER IS BACK FED BY PV, PLACE 1 ON METER.

7. LABEL INDICATING WHERE PV DISCONNECT IS LOCATED, PLACE 1 ON METER, VERBAGE VARIES PER SITE.

8. LABEL INDICATING PV DISCONNECT, PLACE 1 ANYWHERE PV CAN BE DISCONNECTED, REFLECTIVE.

9. LABEL INDICATING PV OVER CURRENT DEVICE, PLACE 1 NEAR ALL PV BREAKERS EXCEPT MAIN.

10. WARNING LABEL, AC, PLACE 1 PER AC JUNCTION BOX, COMBINER PANEL, DISCONNECTS, ALL ELECTRICAL LOAD CENTERS.

11. LABEL, PV AC DISCONNECT OPERATING SPEC, PLACE 1 AT ALL LOCATIONS PV AC CAN BE DISCONNECTED.

12. WARNING LABEL, PLACE 1 ON COMBINER PANEL, DISCONNECT, OR TAP LOCATION.

13. WARNING LABEL, PLACE 1 ON COMBINER PANEL.

\*NOTE - LABELS ARE SITE SPECIFIC.



Reference Material

OCT 07 2021

Planning Board Meeting

OCT 07 2021

Planning Board Meeting



# TOWN OF AUSTERLITZ NEW YORK BUILDING PERMIT APPLICATION

TAX MAP # 916-1-25

Expiration Date: \_\_\_\_\_

Permit # \_\_\_\_\_

Permit fee \_\_\_\_\_

## 1. LOCATION:

House No. 46 Road Name Lunde Lane

Subdivision Name &amp; Lot No. (if any) \_\_\_\_\_

2. PROPERTY OWNER Melissa Slotnick PHONE 347-525-7119CURRENT ADDRESS 46 Lunde LaneCITY & STATE Austerlitz, New York ZIP 120173. CONTRACT OR BUILDER Kasselman Solar, LLC PHONE 518-478-3906CURRENT ADDRESS 279 Broadway bldg 2CITY & STATE Menands, NY ZIP 122044. ZONING DISTRICT ☒ RR - RURAL RESIDENTIAL ☐ A - HM AUSTERLITZ HAMLET ☐ S - HM SPENCERTOWN HAMLET5. EXISTING USE & OCCUPANCY: Single-Family Residential6. INTENDED USE & OCCUPANCY: Single-Family Residential7. NATURE OF WORK: ☐ NEW BUILDING ☐ ADDITION ☒ ALTERATION ☐ DECK ☐ SHED ☐ SWIMMING POOL  
☐ DEMOLITION ☐ OTHER8. ADDITIONAL DESCRIPTION Roof Mounted Solar PV Module Installation

## 9. WILL THIS PROPOSAL: (Please answer yes or no to each question)

a. Involve new, or alterations to, electrical wiring? Yesb. Involve new, or alterations to, or additional use of, a sewage disposal system? Noc. Require installation, or changes in location, of a driveway? Nod. Involve a change in use or occupancy? No

10. SIZE OF BUILDING \_\_\_\_\_ NUMBER OF STORIES \_\_\_\_\_ DEPTH \_\_\_\_\_ WIDTH \_\_\_\_\_ HEIGHT \_\_\_\_\_

11. LOT DIMENSIONS \_\_\_\_\_ WIDTH \_\_\_\_\_ DEPTH \_\_\_\_\_

12. ESTIMATED COST

\$ 8,763.00over

[illegible][illegible]

FRONT YARD

12. SET BACKS - LEFT YARD \_\_\_\_\_ RIGHT YARD \_\_\_\_\_ REAR YARD \_\_\_\_\_ FRONT YARD \_\_\_\_\_

13. Please sketch and locate structure or object within grid showing front, back and side setbacks.

14. APPLICATION IS HEREBY MADE to the Building Department for the issuance of a Building Permit pursuant to the New York State Uniform Fire Prevention and Building Code (Title 9 NYCRR) for the construction of buildings, additions or alterations, or for removal or demolition as herein described. The applicant agrees to comply with all applicable laws, ordinances and regulations, including New York State Energy Code requirements, and the Town of Amsterlitz Zoning Ordinance.

Signature of Applicant Brian J. Spade Date 9.9.21

Approved ☐ YES ☒ NO By Y. L. S. No Date 9/21/21 Title CEO

Fee Paid \$ \_\_\_\_\_ Date Received \_\_\_\_\_ Check# \_\_\_\_\_

PERMIT DENIED ☒

REASON

REFERED TO PLANNING BOARD ☒

## PERMIT APPLICATION

# NY State Unified Solar Permit

Reference Material

OCT 07 2021

Planning Board Meeting

Unified solar permitting is available statewide for eligible solar photovoltaic (PV) installations. Municipal authorities that adopt the unified permit streamline their process while providing consistent and thorough review of solar PV permitting applications and installations. Upon approval of this application and supporting documentation, the authority having jurisdiction (AHJ) will issue a building and/or electrical permit for the solar PV installation described herein.

### PROJECT ELIGIBILITY FOR UNIFIED PERMITTING PROCESS

By submitting this application, the applicant attests that the proposed project meets the established eligibility criteria for the unified permitting process (subject to verification by the AHJ). The proposed solar PV system installation:

- |   |                             |   |
|---|-----------------------------|---|
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | 1. Has a rated DC capacity of 25 kW or less.  |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | 2. Is not subject to review by an Architectural or Historical Review Board. (If review has already been issued answer YES and attach a copy)  |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | 3. Does not need a zoning variance or special use permit. (If variance or permit has already been issued answer YES and attach a copy)  |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | 4. Is mounted on a permitted roof structure, on a legal accessory structure, or ground mounted on the applicant's property. If on a legal accessory structure, a diagram showing existing electrical connection to structure is attached. |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | 5. The Solar Installation Contractor complies with all licensing and other requirements of the jurisdiction and the State.  |
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | 6. If the structure is a sloped roof, solar panels are mounted parallel to the roof surface.  |

For solar PV systems not meeting these eligibility criteria, the applicant is not eligible for the Unified Solar Permit and must submit conventional permit applications. Permit applications may be downloaded here:

<https://austerlitzny.com/document-center/building-code-enforcement-forms.html> or obtained in person at Austerlitz Town Hall, 816 State Route 203, Spencertown NY 12165 (Glenn Smith, Building Inspection/Code Enforcement) during business hours Mon and Fri 8:30-10:30 Wed 9:30-12:30. (Call to confirm)

### SUBMITTAL INSTRUCTIONS

For projects meeting the eligibility criteria, this application and the following attachments will constitute the Unified Solar Permitting package.

- This application form, with all fields completed and bearing relevant signatures.
- Permitting fee of \$6.00 per \$1000 or a minimum of \$30, by cash or check payable to Town of Austerlitz.
- Required Construction Documents for the solar PV system type being installed, including required attachments.

Completed permit applications can be submitted electronically to [gsmith@austerlitzny.com](mailto:gsmith@austerlitzny.com) or in person at Austerlitz Town Hall, 816 State Route 203, Spencertown NY 12165 during business hours Mon and Fri 8:30-10:30AM Wed 9:30AM-12:30PM.

### APPLICATION REVIEW TIMELINE

Permit determinations will be issued within 10 calendar days upon receipt of complete and accurate applications. The municipality will provide feedback within 10 calendar days of receiving incomplete or inaccurate applications.

### FOR FURTHER INFORMATION

Questions about this permitting process may be directed to Glenn Smith, Building Inspection/Code Enforcement, PO Box 238, Spencertown, NY 12165. (518)392-5007 Extension 303.

OCT 07 2021

Planning Board Meeting

**PROPERTY OWNER**

Melissa Slotnick  
 Property Owner's First Name Last Name Title  
 46 Lunde Lane  
 Property Address  
 Austerlitz New York 12017  
 City State Zip  
 96 1 25  
 Section Block Lot Number

**EXISTING USE**

☒ Single Family ☐ 2-4 Family ☐ Commercial ☐ Other

**PROVIDE THE TOTAL SYSTEM CAPACITY RATING (SUM OF ALL PANELS)**

Solar PV System: 1.32 kW DC

**SELECT SYSTEM CONFIGURATION**

Make sure your selection matches the Construction Documents included with this application.

☒ Supply side connection with microinverters ☐ Load side connection with DC optimizers  
☐ Supply side connection with DC optimizers ☒ Load side connection with microinverters  
☐ Supply side connection with string inverter ☐ Load side connection with string inverter

**SOLAR INSTALLATION CONTRACTOR****Kasselman Solar, LLC.**

Contractor Business Name  
 279 Broadway bldg 2 Menands New York 12204  
 Contractor Business Address City State Zip  
 Loreen Harvey (518) 478-3906  
 Contractor Contact Name Phone Number  
 LH Harvey@kasselmansolar.com  
 Contractor License Number(s) Contractor Email

**Kasselman Solar, LLC.**

Electrician Business Name  
 279 Broadway bldg 2 Menands New York 12204  
 Electrician Business Address City State Zip  
 Ernesto (Gino) Cimmino (518) 368 - 3196  
 Electrician Contact Name Phone Number  
 ginoc@kasselmansolar.com  
 Electrician License Number(s) Electrician Email

Please sign below to affirm that all answers are correct and that you have met all the conditions and requirements to submit a unified solar permit.

See attached

Property Owner's Signature

Date

9.9.21

Solar Installation Company Representative Signature

Date



Client#: 34297

KASSESOLAR

Reference Material

ACORD

## CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

OCT 03/24/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer any rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Cool Insuring Agency Inc CL 784 Troy Schenectady Road Latham, NY 12110 518 783-2665		<b>CONTACT</b> NAME: Maureen A. Nicholas PHONE (A/C No Ext): 518 783-2665 E-MAIL: manicholas@coolins.com ADDRESS:		FAX (A/C No): 518 783 8754	
<b>INSURED</b> Kasselman Solar LLC 20 Walker Way Albany, NY 12205		<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>	
		INSURER A: Southwest Marine & General Insurance Co		12294	
		INSURER B: Travelers Property Cas Co of America		25674	
		INSURER C: ShelterPoint Life Insurance Company		81434	
		INSURER D: NGM Insurance Company		14788	
		INSURER E:			
		INSURER F:			

COVERAGES	CERTIFICATE NUMBER	REVISION NUMBER																
THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS																		
<b>INSR LTR</b> <b>A</b> <input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <b>X PD Ded. \$5,000</b> GEN'L AGGREGATE LIMIT APPLIES PER: POLICY <input checked="" type="checkbox"/> PROJECT LOC OTHER	<b>GL202100011431</b>	<b>POLICY EFF (MM/DD/YYYY): 03/24/2021</b> <b>POLICY EXP (MM/DD/YYYY): 03/24/2022</b> <table border="1"> <thead> <tr> <th colspan="2">LIMITS</th> </tr> </thead> <tbody> <tr> <td>EACH OCCURRENCE</td> <td>\$1,000,000</td> </tr> <tr> <td>DAMAGE TO RENTED PREMISES (Ea occurrence)</td> <td>\$300,000</td> </tr> <tr> <td>MED EXP (Any one person)</td> <td>\$5,000</td> </tr> <tr> <td>PERSONAL &amp; ADV INJURY</td> <td>\$1,000,000</td> </tr> <tr> <td>GENERAL AGGREGATE</td> <td>\$2,000,000</td> </tr> <tr> <td>PRODUCTS - COMP/OP AGG</td> <td>\$2,000,000</td> </tr> <tr> <td></td> <td>\$</td> </tr> </tbody> </table>	LIMITS		EACH OCCURRENCE	\$1,000,000	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$300,000	MED EXP (Any one person)	\$5,000	PERSONAL & ADV INJURY	\$1,000,000	GENERAL AGGREGATE	\$2,000,000	PRODUCTS - COMP/OP AGG	\$2,000,000		\$
LIMITS																		
EACH OCCURRENCE	\$1,000,000																	
DAMAGE TO RENTED PREMISES (Ea occurrence)	\$300,000																	
MED EXP (Any one person)	\$5,000																	
PERSONAL & ADV INJURY	\$1,000,000																	
GENERAL AGGREGATE	\$2,000,000																	
PRODUCTS - COMP/OP AGG	\$2,000,000																	
	\$																	
<b>D</b> <b>AUTOMOBILE LIABILITY</b> <input checked="" type="checkbox"/> ANY AUTO <input checked="" type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	<b>B2U4697P</b>	<b>03/24/2021 03/24/2022</b> <table border="1"> <tbody> <tr> <td>COMBINED SINGLE LIMIT (Ea accident)</td> <td>\$1,000,000</td> </tr> <tr> <td>BODILY INJURY (Per person)</td> <td>\$</td> </tr> <tr> <td>BODILY INJURY (Per accident)</td> <td>\$</td> </tr> <tr> <td>PROPERTY DAMAGE (Per accident)</td> <td>\$</td> </tr> <tr> <td></td> <td>\$</td> </tr> </tbody> </table>	COMBINED SINGLE LIMIT (Ea accident)	\$1,000,000	BODILY INJURY (Per person)	\$	BODILY INJURY (Per accident)	\$	PROPERTY DAMAGE (Per accident)	\$		\$						
COMBINED SINGLE LIMIT (Ea accident)	\$1,000,000																	
BODILY INJURY (Per person)	\$																	
BODILY INJURY (Per accident)	\$																	
PROPERTY DAMAGE (Per accident)	\$																	
	\$																	
<b>A</b> <input checked="" type="checkbox"/> <b>UMBRELLA LIAB</b> <b>EXCESS LIAB</b> DED <input checked="" type="checkbox"/> RETENTION \$10,000 WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<b>EX202100001814</b>	<b>03/24/2021 03/24/2022</b> <table border="1"> <tbody> <tr> <td>EACH OCCURRENCE</td> <td>\$2,000,000</td> </tr> <tr> <td>AGGREGATE</td> <td>\$2,000,000</td> </tr> <tr> <td></td> <td>\$</td> </tr> <tr> <td>PER STATUTE</td> <td>OTHER</td> </tr> <tr> <td>E L EACH ACCIDENT</td> <td>\$</td> </tr> <tr> <td>E L DISEASE - EA EMPLOYEE</td> <td>\$</td> </tr> <tr> <td>E L DISEASE - POLICY LIMIT</td> <td>\$</td> </tr> </tbody> </table>	EACH OCCURRENCE	\$2,000,000	AGGREGATE	\$2,000,000		\$	PER STATUTE	OTHER	E L EACH ACCIDENT	\$	E L DISEASE - EA EMPLOYEE	\$	E L DISEASE - POLICY LIMIT	\$		
EACH OCCURRENCE	\$2,000,000																	
AGGREGATE	\$2,000,000																	
	\$																	
PER STATUTE	OTHER																	
E L EACH ACCIDENT	\$																	
E L DISEASE - EA EMPLOYEE	\$																	
E L DISEASE - POLICY LIMIT	\$																	
<b>B</b> Installation <b>C</b> Disability	<b>QT6307R182782TIL21</b> <b>DBL441239</b>	<b>03/24/2021 03/24/2022 \$500,000</b> <b>03/24/2021 Continuous NY Statutory</b>																

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

## CERTIFICATE HOLDER

## CANCELLATION

Town of Austerlitz  
 812 Route 203  
 Spencertown, NY 12165

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

*Anthony J. Mancini*

© 1988-2015 ACORD CORPORATION. All rights reserved.



Reference Material

OCT 07 2021

199 CHURCH STREET, NEW YORK, N.Y. 10007-1100

Planning Board Meeting

## CERTIFICATE OF WORKERS' COMPENSATION INSURANCE

\*\*\*\*\* 464740969

LOVELL SAFETY MGMT CO., LLC  
110 WILLIAM STREET 12TH FLR  
NEW YORK NY 10038



SCAN TO VALIDATE  
AND SUBSCRIBE

<b>POLICYHOLDER</b> KASSELMAN SOLAR LLC 20 WALKER WAY ALBANY NY 12205		<b>CERTIFICATE HOLDER</b> TOWN OF AUSTERLITZ 812 ROUTE 203 SPENCERTOWN NY 12165	
<b>POLICY NUMBER</b> Z 2329 433-3	<b>CERTIFICATE NUMBER</b> 106522	<b>POLICY PERIOD</b> 04/01/2021 TO 04/01/2022	<b>DATE</b> 03/17/2021

THIS IS TO CERTIFY THAT THE POLICYHOLDER NAMED ABOVE IS INSURED WITH THE NEW YORK STATE INSURANCE FUND UNDER POLICY NO. 2329 433-3, COVERING THE ENTIRE OBLIGATION OF THIS POLICYHOLDER FOR WORKERS' COMPENSATION UNDER THE NEW YORK WORKERS' COMPENSATION LAW WITH RESPECT TO ALL OPERATIONS IN THE STATE OF NEW YORK, EXCEPT AS INDICATED BELOW, AND, WITH RESPECT TO OPERATIONS OUTSIDE OF NEW YORK, TO THE POLICYHOLDER'S REGULAR NEW YORK STATE EMPLOYEES ONLY.

IF YOU WISH TO RECEIVE NOTIFICATIONS REGARDING SAID POLICY, INCLUDING ANY NOTIFICATION OF CANCELLATIONS, OR TO VALIDATE THIS CERTIFICATE, VISIT OUR WEBSITE AT [HTTPS://WWW.NYSIF.COM/CERT/CERTVAL.ASP](https://www.nysif.com/cert/certval.asp). THE NEW YORK STATE INSURANCE FUND IS NOT LIABLE IN THE EVENT OF FAILURE TO GIVE SUCH NOTIFICATIONS.

THIS POLICY DOES NOT COVER THE SOLE PROPRIETOR, PARTNERS AND/OR MEMBERS OF A LIMITED LIABILITY COMPANY.

THE POLICY INCLUDES A WAIVER OF SUBROGATION ENDORSEMENT UNDER WHICH NYSIF AGREES TO WAIVE ITS RIGHT OF SUBROGATION TO BRING AN ACTION AGAINST THE CERTIFICATE HOLDER TO RECOVER AMOUNTS WE PAID IN WORKERS' COMPENSATION AND/OR MEDICAL BENEFITS TO OR ON BEHALF OF AN EMPLOYEE OF OUR INSURED IN THE EVENT THAT, PRIOR TO THE DATE OF THE ACCIDENT, THE CERTIFICATE HOLDER HAS ENTERED INTO A WRITTEN CONTRACT WITH OUR INSURED THAT REQUIRES THAT SUCH RIGHT OF SUBROGATION BE WAIVED.

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS NOR INSURANCE COVERAGE UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICY.

NEW YORK STATE INSURANCE FUND

DIRECTOR, INSURANCE FUND UNDERWRITING

VALIDATION NUMBER: 710218803





Workers'  
Compensation  
Board

**CERTIFICATE OF INSURANCE COVERAGE**  
under the NYS DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW

OCT 07 2021

Planning Board Meeting

**PART 1. To be completed by Disability Benefits Carrier or Licensed Insurance Agent of that Carrier**

<p>1a. Legal Name and Address of Insured (Use street address only)</p> <p><b>Kasselman Solar LLC</b> <b>20 Walker Way</b> <b>Albany, NY 12205</b></p>	<p>1b. Business Telephone Number of Insured <b>518 478-8365</b></p> <p>1c. NYS Unemployment Insurance Employer Registration Number of Insured</p> <p>1d. Federal Employer Identification Number of Insured or Social Security Number <b>464740969</b></p>
<p>2. Name and Address of the Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder)</p> <p><b>Town of Austerlitz</b> <b>812 Route 203</b> <b>Spencertown, NY 12165</b></p>	<p>3a. Name of Insurance Carrier <b>ShelterPoint Life Insurance Company</b></p> <p>3b. Policy Number of entity listed in box "1a": <b>DBL441239</b></p> <p>3c. Policy effective period: <b>03/24/2021</b> to <b>03/24/2022</b></p>

4. Policy provides the following benefits:

- a. ☒ Both disability & paid family leave benefits  
 b. ☐ Disability benefits only.  
 c. ☐ Paid family leave benefits only

5. Policy Covers::

- a. ☒ All of the employer's employees eligible under the New York Disability & Paid Family Leave Benefit Law  
 b. ☐ Only the following class or classes of employer's employees:

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has NYS Disability Benefits insurance coverage as described above.

Date Signed March 5, 2021

By

*Anthony J. MacLachlan*

(Signature of insurance carrier's authorized representative or NYS Licensed Insurance Agent of that insurance carrier)

Telephone Number (800) 233-0115

Title Authorized Representative

**IMPORTANT:** If box "4a" is checked, and this form is signed by the insurance carrier's authorized representative or NYS Licensed Insurance Agent of that carrier, this certificate is **COMPLETE**. Mail it directly to the certificate holder.

If box "4b, 4c or 5b" is checked, this certificate is **NOT COMPLETE** for purposes of Section 220, Subd. 8 of the Disability and Paid Family Leave Benefits Law. It must be mailed for completion to the Workers' Compensation Board, DB Plans Acceptance Unit, 20 Park Street, Albany, New York 12207.

**PART 2. To be completed by NYS Workers' Compensation Board (Only if box "4b" of Part 1 has been checked)**

**State Of New York Workers' Compensation Board**

According to information maintained by the NYS Workers' Compensation Board, the above-named employer has complied with the NYS Disability Benefits Law with respect to all of his/her employees.

Date Signed \_\_\_\_\_

By \_\_\_\_\_

(Signature of NYS Workers' Compensation Board Employee)

Telephone Number \_\_\_\_\_

Title \_\_\_\_\_

**Please Note:** Only insurance carriers licensed to write NYS disability benefits insurance policies and NYS licensed insurance agents of those insurance carriers are authorized to issue Form DB-120.1. Insurance brokers are NOT authorized to issue this form.



OCT 07 2021

Planning Board Meeting

## Additional Instructions for Form DB-120.1

By signing this form, the insurance carrier identified in Box 3 on this form is certifying that it is insuring the business referenced in box "1a" for disability and/or paid family leave benefits under the New York State Disability and Paid Family Leave Benefits Law. The Insurance Carrier or its licensed agent will send this Certificate of Insurance to the entity listed as the certificate holder in Box 2.

The insurance carrier must notify the above certificate holder and the Workers' Compensation Board within 10 days if a policy is cancelled due to nonpayment of premiums or within 30 days if there are reasons other than nonpayment of premiums that cancel the policy or eliminate the insured from coverage indicated on this Certificate. (These notices may be sent by regular mail.) Otherwise, this Certificate is valid for one year after this form is approved by the insurance carrier or its licensed agent, or until the policy expiration date listed in Box 3c, whichever is earlier.

This certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policy listed, nor does it confer any rights or responsibilities beyond those contained in the referenced policy.

This certificate may be used as evidence of a Disability and/or Paid Family Leave Benefits contract of insurance only while the underlying policy is in effect.

Please Note: Upon the cancellation of the disability and/or paid family leave benefits policy indicated on this form, if the business continues to be named on a permit, license or contract issued by a certificate holder, the business must provide that certificate holder with a new Certificate of NYS Disability and/or Paid Family Leave Benefits Coverage or other authorized proof that the business is complying with the mandatory coverage requirements of the New York State Disability and Paid Family Leave Benefits Law.

**DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW****§220. Subd. 8**

(a) The head of a state or municipal department, board, commission or office authorized or required by law to issue any permit for or in connection with any work involving the employment of employees in employment as defined in this article, and not withstanding any general or special statute requiring or authorizing the issue of such permits, shall not issue such permit unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that the payment of disability benefits and after January first, two thousand and twenty-one, the payment of family leave benefits for all employees has been secured as provided by this article. Nothing herein, however, shall be construed as creating any liability on the part of such state or municipal department, board, commission or office to pay any disability benefits to any such employee if so employed.

(b) The head of a state or municipal department, board, commission or office authorized or required by law to enter into any contract for or in connection with any work involving the employment of employees in employment as defined in this article and notwithstanding any general or special statute requiring or authorizing any such contract, shall not enter into any such contract unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that the payment of disability benefits and after January first, two thousand eighteen, the payment of family leave benefits for all employees has been secured as provided by this article.



Starling Madison Lofquist, Inc. OCT 07 2021

5224 South 39<sup>th</sup> Street, Phoenix, Arizona 85040  
tel: (602) 438-2500 fax: (602) 438-2505 ROC#291316 www.smleng.com

Planning Board Meeting

IronRidge  
28357 Industrial Boulevard  
Hayward, CA 94545

October 15, 2018  
Page 1 of 52

Attn: Mr. Corey Geiger, VP New Markets, IronRidge Inc.

Subject: Ground Mounting System – Structural Analysis – 4 Module

Dear Sir:

We have analyzed the subject ground mounted structure and determined that it is in compliance with the applicable sections of the following Reference Documents:

Codes: ASCE/SEI 7-10 Min. Design Loads for Buildings & Other Structures  
International Building Code, 2015 Edition

Other: AC428, Acceptance Criteria for Modular Framing Systems Used to Support PV  
Modules, dated Effective November 1, 2012 by ICC-ES  
Aluminum Design Manual, 2015 Edition  
IronRidge Exhibit EX-0001

The structure is a simple column (pier) and beam (cross pipe) system. The piers & cross pipes are ASTM A53 Grade B standard weight (schedule 40) steel pipes or Allied Mechanical Tubing. Please refer to Exhibit EX-0001 for approved pipe geometry and material properties. The tops of the piers are connected in the E-W direction by the cross pipes which cantilever over and extend past the end piers. The cross pipes are connected by proprietary IronRidge XR1000 Rails spanning up and down the slope which cantilever over and extend past the top and bottom cross pipes. There are typically two rails per column of modules. The modules are clamped to the rails by the IronRidge Module Mounting Clamps as shown in the attached Exhibit.

Gravity loads are transferred to the piers and foundations by the rails and cross pipes acting as simple beams. For lateral loads the system is either a cantilever structure or, when diagonal braces are provided, a braced frame. The effect of seismic loads (for all design categories A-F) have been determined to be less than the effect due to wind loads in all load conditions and combinations.

The pier spacing in the N-S direction is 7'-6". The pier spacing in the E-W direction is selected from load tables determined by the structural design for the specified slope, wind load, and snow load. The governing criteria for the pier spacing is either the spanning capacity of the cross pipes or the cantilever capacity of the pier. Simplified Load Tables 1A-F & 2A-F are included herein for reference.

More comprehensive information covering all load combinations is available at the IronRidge website, IronRidge.com.

IronRidge  
Mr. Corey Geiger  
Ground Mounting System – Structural Analysis – 4 Module

October 2022

Page 8 of 52

Planning Board Meeting

Table 2A - MAXIMUM PIER SPACING (in)											
3" Unbraced Pipe Frame	Snow	Slope (deg)									
Wind Speed & Exposure Category	psf	0	5	10	15	20	25	30	35	40	45
100 mph Exposure B	0	224	224	218	213	202	194	186	175	149	127
	10	197	197	195	193	191	190	186	175	149	127
	20	169	169	168	167	168	170	172	175	149	127
	30	158	158	157	157	159	162	164	171	149	127
	40	144	144	144	144	147	151	155	162	149	127
	50	131	131	132	133	137	141	146	154	149	127
105 mph Exposure B	60	121	121	121	123	129	134	139	147	149	127
	0	224	224	210	205	194	186	179	159	135	115
	10	197	197	191	188	186	184	179	159	135	115
	20	169	169	165	164	165	166	167	159	135	115
	30	158	158	155	154	156	158	161	159	135	115
	40	144	144	142	142	145	148	151	158	135	115
110 mph Exposure B	50	131	131	132	132	135	139	143	151	135	115
	60	121	121	121	123	128	132	137	144	135	115
	0	224	224	203	197	187	179	171	145	123	105
	10	197	197	186	184	181	179	171	145	123	105
	20	169	169	162	161	161	162	163	145	123	105
	30	158	158	153	152	153	155	157	145	123	105
120 mph Exposure B	40	144	144	140	140	142	145	148	145	123	105
	50	131	131	131	130	133	137	141	145	123	105
	0	215	220	189	183	174	166	144	122	104	88
	10	193	196	178	175	172	166	144	122	104	88
	20	166	168	156	155	155	155	144	122	104	88
	30	155	157	148	147	147	148	144	122	104	88
130 mph Exposure B	40	142	144	137	136	138	140	142	122	104	88
	50	131	131	128	127	130	132	135	122	104	88
	0	202	207	176	171	162	155	123	104	88	75
	10	185	188	170	167	162	155	123	104	88	75
	20	161	163	151	149	148	148	123	104	88	75
	30	151	153	143	142	142	142	123	104	88	75
140 mph Exposure B	40	139	141	133	132	133	135	123	104	88	75
	50	130	131	125	124	126	128	123	104	88	75
	0	190	195	165	160	152	144	106	89	76	65
	10	178	181	162	159	152	144	106	89	76	65
	20	156	158	146	144	142	141	106	89	76	65
	30	147	149	139	137	136	136	106	89	76	65
150 mph Exposure B	40	136	138	129	128	129	129	106	89	76	65
	50	127	128	121	121	122	124	106	89	76	65
	0	179	184	156	151	142	126	92	78	66	56
	10	171	175	155	151	142	126	92	78	66	56
	20	151	154	140	138	136	126	92	78	66	56
	30	143	146	134	133	131	126	92	78	66	56
160 mph Exposure B	40	133	135	126	124	124	125	92	78	66	56
	0	169	174	147	142	134	110	81	68	58	50
	10	165	168	147	142	134	110	81	68	58	50
	20	147	149	135	133	131	110	81	68	58	50
	30	140	142	130	128	126	110	81	68	58	50
	40	130	132	122	121	120	110	81	68	58	50

Notes: see page 14

Notes for Tables 1 & 2:

1. Shaded region denotes special requirements for XR1000 rails – contact IronRidge
2. Cross pipe splices not permitted in outer 2/3 of end spans, or the middle 1/3 of interior spans based on the installed attachment spacing ( $L_{install}$ ). See Figure A
3. End cantilever span of pipe rails (max) =  $0.40 \times$  maximum span ( $L_{max}$ ) from above tables. See Figure A
4. When installations occur on a N-S grade, the design slope of the array shall be determined as the slope relative to level ground. Code required topographic effects have not been considered.  
Topographic (Wind) Factor = 1.0 (no topographic effects)
5. Dead Load (Weight) = 3 psf
6. Maximum PV Module Dimension = 80"

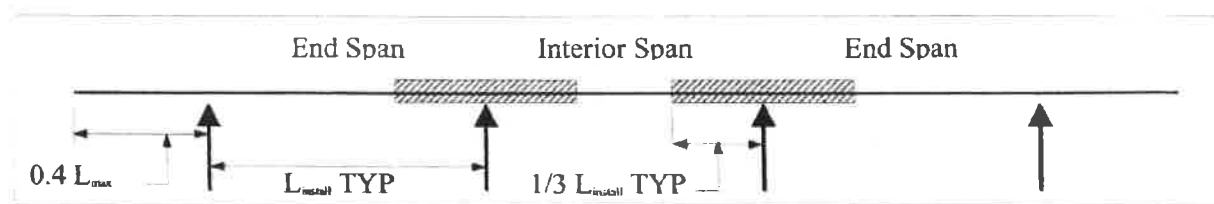



Figure A

$L_{max}$  = Maximum pier spacing provided in the tables above for the project design criteria

$$L_{\text{المتباعدة}} = \text{Actual installed pier spacing}$$

 = Indicates region of the pipe rail where splice may be installed

To avoid potential problems from the effects of thermal expansion, a maximum total continuous cross pipe length of 100 ft is recommended.

Notes for CAMO module clamp installation:

1. Single module installation (“orphan modules”) shall not be permitted with the ground mount system when CAMO clamp is used. Reference Figure 1 on following page for “Orphan Module” installation.
2. CAMO clamps will function within a module’s design load ratings. Be sure the specific module being used with the CAMO clamp meets the dimensional requirements shown in Figure 2 on the following page, is a module listed in IronRidge’s installation manual, and that the module selected is suitable for the environmental conditions of a particular project.

OCT 07 2021

October 15, 2018

Planning Board Meeting

IronRidge  
Mr. Corey Geiger  
Ground Mounting System – Structural Analysis – 4 Module

Soil Class 2											
Table 4A - MINIMUM FOUNDATION DEPTHS (in)											
3" Pipe Frame Unbraced	Pier Dia (in)	Slope (deg)									
Wind Speed & Exposure Category		0	5	10	15	20	25	30	35	40	45
100 mph Exposure B	12	36	36	36	36	42	48	54	60	60	60
	16	36	36	36	36	42	48	48	54	54	54
	20	36	36	36	36	36	42	48	48	48	48
	24	36	36	36	36	36	36	42	42	42	42
105 mph Exposure B	12	36	36	36	36	48	54	60	60	60	60
	16	36	36	36	36	42	48	54	54	54	54
	20	36	36	36	36	36	42	48	48	48	48
	24	36	36	36	36	36	42	42	42	42	42
110 mph Exposure B	12	36	36	36	42	48	54	60	60	60	60
	16	36	36	36	36	42	48	54	54	54	54
	20	36	36	36	36	36	42	48	48	48	48
	24	36	36	36	36	36	42	42	42	42	42
120 mph Exposure B	12	36	36	36	42	48	54	60	60	60	60
	16	36	36	36	36	42	48	54	54	54	54
	20	36	36	36	36	42	42	48	48	48	48
	24	36	36	36	36	36	42	42	42	42	42
130 mph Exposure B	12	36	36	36	42	48	54	60	60	60	60
	16	36	36	36	36	42	48	54	54	54	54
	20	36	36	36	36	42	48	48	48	48	48
	24	36	36	36	36	36	42	42	42	42	42
140 mph Exposure B	12	36	36	42	42	54	60	60	60	60	60
	16	36	36	36	42	48	54	54	54	54	54
	20	36	36	36	36	42	48	48	48	48	48
	24	36	36	36	36	42	42	42	42	42	42
150 mph Exposure B	12	36	42	42	48	54	60	60	60	60	60
	16	36	36	36	42	48	54	54	54	54	54
	20	36	36	36	36	42	48	48	48	48	48
	24	36	36	36	36	42	42	42	42	42	42
160 mph Exposure B	12	36	42	42	48	54	60	60	60	60	60
	16	36	36	36	42	48	54	54	54	54	54
	20	36	36	36	36	42	48	48	48	48	48
	24	36	36	36	36	42	42	42	42	42	42

Notes: see page 52



IronRidge  
Mr. Corey Geiger  
Ground Mounting System – Structural Analysis – 4 Module

OCT 07 2021  
October 15, 2018  
Page 52 of 52  
Planning Board Meeting

Notes for Tables 3 & 4:

1. Concrete Weight = 145 pcf /  $f_c = 2500$  psi
2. Skin Friction per 2015 IBC 1810.3.3.1.4 & 5
3. Top 1'-0" of soil neglected for Skin Friction
4. Snow Load = 0 psf – tabulated values are conservative for Snow Loads > 0 psf
5. \* indicates special foundation required. Contact IronRidge
6. Resistance to corrosion and/or sulfate attack, along with possible adverse effects due to expansive soils has not been considered in these foundation recommendations. SML Engineers assumes no liability with regard to these items.
7. Soil classification is to be determined and verified by the end user of this certification letter.

The analysis assumes that the array, including the connections and associated hardware, are installed in a workmanlike manner in accordance with the IronRidge Ground Mount Installation Manual and generally accepted standards of construction practice. Verification of PV Module capacity to support the loads associated with the given array shall be the responsibility of the Contractor or Owner and not IronRidge or Starling Madison Lofquist.

Please feel free to contact me at your convenience if you have any questions.

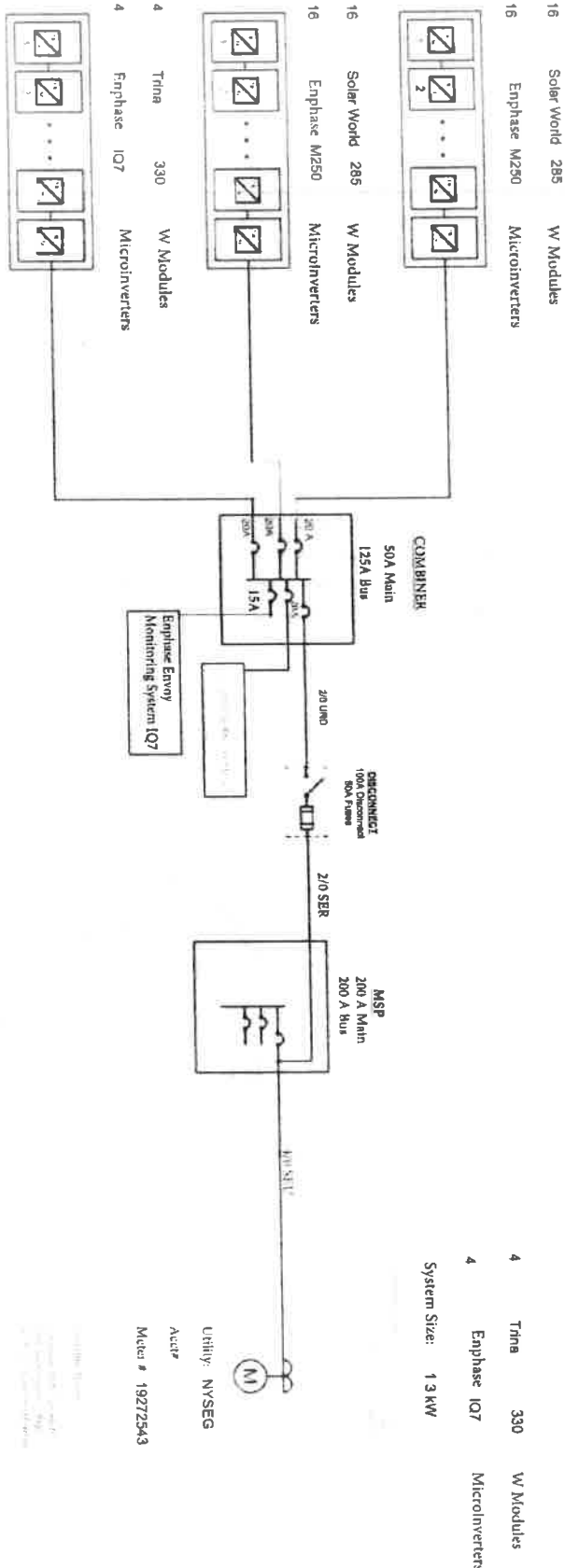
Respectfully yours,

Tres Warner, P.E.  
Design Division Manager



OCT 07 2021

## Planning Board Meeting



**Customer:**

Melissa Slotnick - EXPANSION

**Address:** 46 Lunde Lane  
Austerlitz, New York 12017

Phone: 247-525-7119 ••

4	Trina	330	W Modules
---	-------	-----	-----------

4      Enphase IQ7      MicroInverters

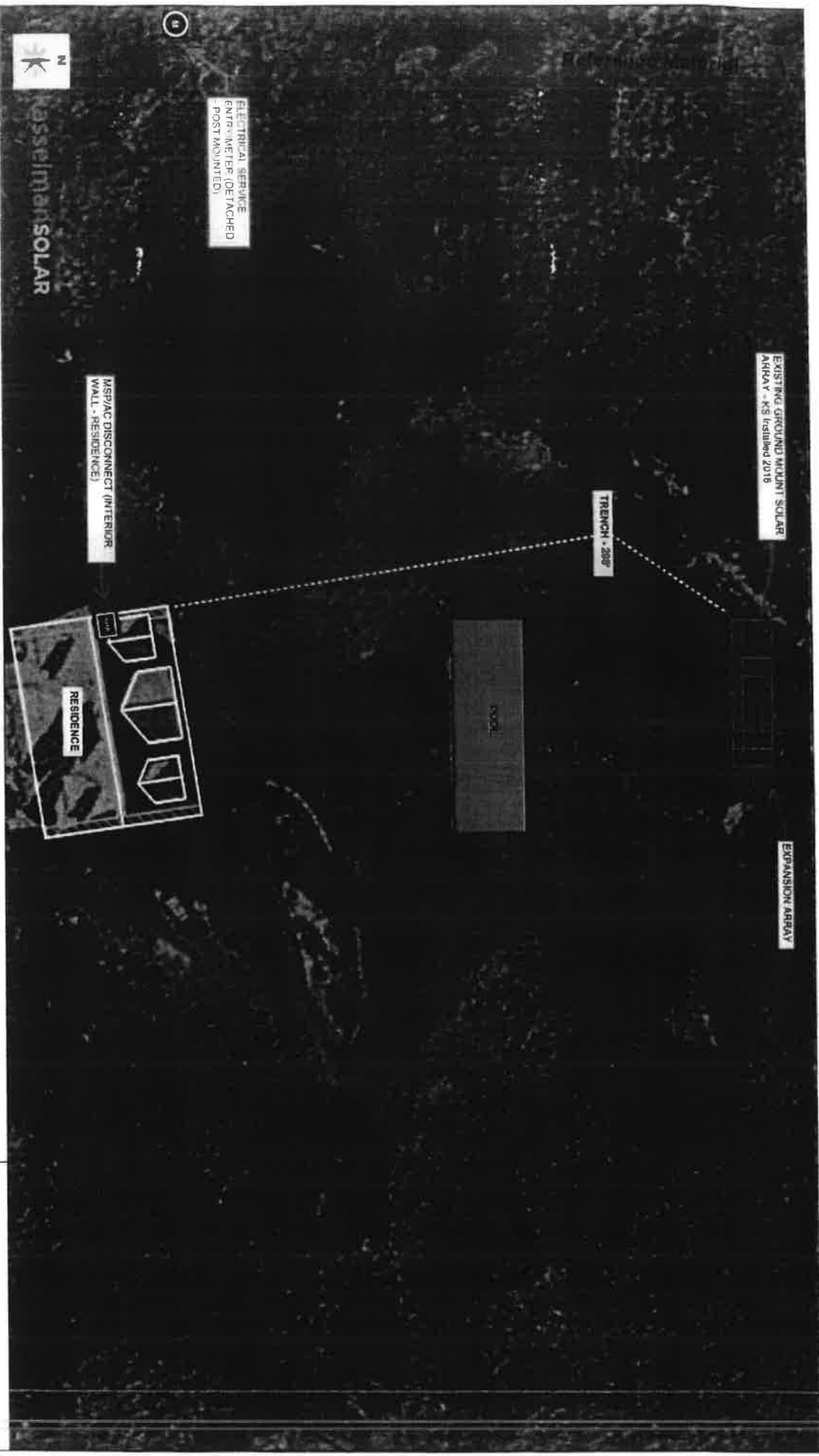
System Size: 13 kW

Utility: NYSEG  
Acct#  
Meter # 19272543


**Kasselman Solar**  
279 Broadway Bldg. 2  
Menands, NY 12204  
518-320-7669



kasselman 501.46



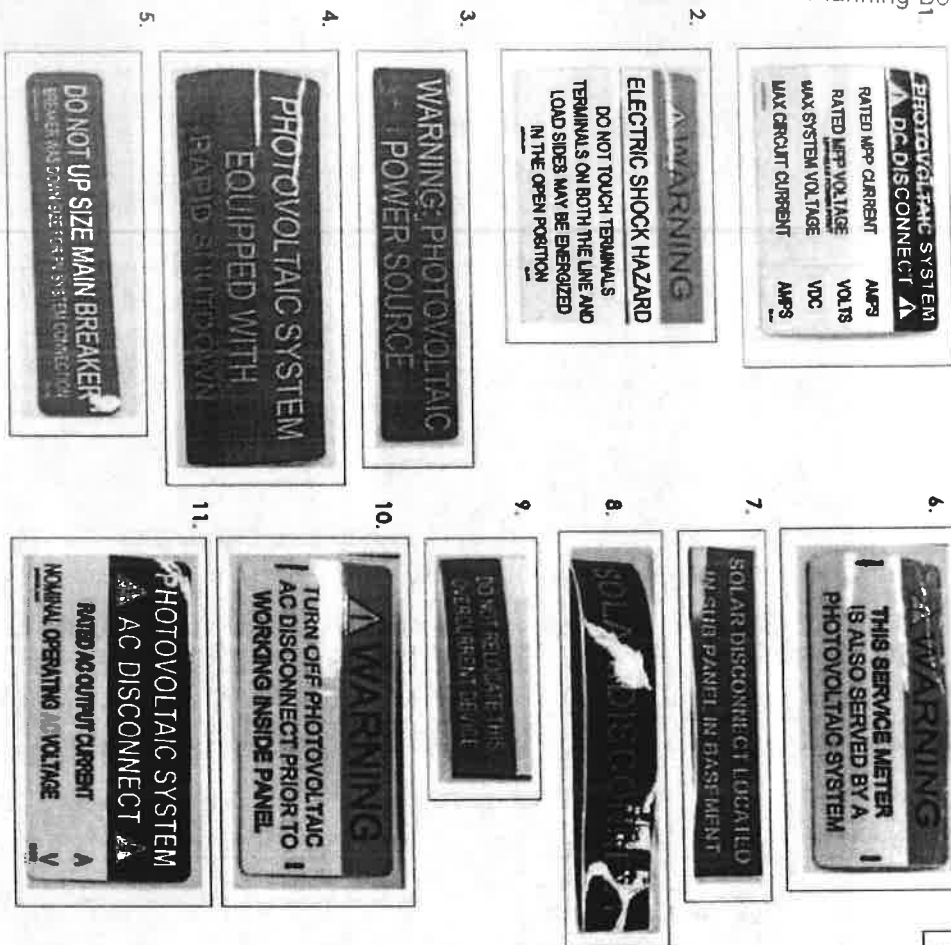
Reference Material  
Mississippi Slot Back  
4th Underlayment  
Asphalt/Flt NY 10017  
September 7th, 2017  
Planning Board Meeting

<b>Project and Installation Details:</b> EXPANSION PROJECT	
System Size DC (kW): 1.3 kW	
4 Trina Solar Energy Co., Ltd TSM-330DD06M.05(1)	
4 Enphase Energy Inc. IQ7	
IRONRIDGE RACKING	
<b>Existing System:</b> 32 SolarWorld SunModule Plus SW 285 Mono 32 Enphase Energy Inc. M250-H0-21L-S22 (740V) System Size: 9.1kW	
<b>Ground Mount Solar Facility Description:</b> IronRidge - Kasselmann Solar constructed "conformation documents stipulated" Tilt @ 30-Degrees / AZIMUTH @ 180 - DEGREES (S) Configuration (NVS x E/W): (4x1) Max Height - To match height of existing solar array - 8'4" Total Sq. Ft. of Expansion: 73.4 sq. ft.  * Enclosed IronRidge report and calculations reflect the existing array with the addition of the expansion	
	<b>Solar Photovoltaic Module</b>  Electrical labels to be placed on PV equipment per NEC 690.56. Labels are site specific; please see attached labeling guide.

OCT 07 2021

Planning Board Meeting

kasselmansolar



PV LABELING GUIDE

1. LABEL, PV DC DISCONNECT OPERATING SPEC. PLACE 1 PER INVERTER.
2. WARNING LABEL, DC, PLACE 1 PER INVERTER AND DC JUNCTION BOX.
3. WARNING LABEL, DC, PLACE 1 EVERY 10' OF CONDUIT, REFLECTIVE.
4. LABEL INDICATING PV HAS RAPID SHUTDOWN, PLACE 1 ON METER, REFLECTIVE.
5. LABEL INDICATING MAIN BREAKER HAS BEEN DOWNSIZED, PLACE 1 NEAR MAIN.
6. WARNING LABEL, INDICATING METER IS BACK FED BY PV, PLACE 1 ON METER.
7. LABEL INDICATING WHERE PV DISCONNECT IS LOCATED, PLACE 1 ON METER, VERBAGE VARIES PER SITE.
8. LABEL INDICATING PV DISCONNECT, PLACE 1 ANYWHERE PV CAN BE DISCONNECTED, REFLECTIVE.
9. LABEL INDICATING PV OVER CURRENT DEVICE, PLACE 1 NEAR ALL PV BREAKERS EXCEPT MAIN.
10. WARNING LABEL, AC, PLACE 1 PER AC JUNCTION BOX, COMBINER PANEL, DISCONNECTS, ALL ELECTRICAL LOAD CENTERS.
11. LABEL, PV AC DISCONNECT OPERATING SPEC, PLACE 1 AT ALL LOCATIONS PV AC CAN BE DISCONNECTED.
12. WARNING LABEL, PLACE 1 ON COMBINER PANEL, DISCONNECT, OR TAP LOCATION.
13. WARNING LABEL, PLACE 1 ON COMBINER PANEL.

\*NOTE - LABELS ARE SITE SPECIFIC.

THE

# Residential Module

MULTI-BUSBAR 120 HALF-CELL BOB MODULE



## 120-Cell

MONOCRYSTALLINE MODULE

## 310-335W

POWER OUTPUT RANGE

## 19.7%

MAXIMUM EFFICIENCY

## 0~+5W

POSITIVE POWER TOLERANCE

Founded in 1997, Trina Solar is the world's leading total solution provider for solar energy. With local presence around the globe, Trina Solar is able to provide exceptional service to each customer in each market and deliver our innovative, reliable products with the backing of Trina, a strong, bankable brand. Trina Solar now distributes its PV products in over 100 countries all over the world. We are committed to building strategic, mutually beneficial relationships with local OEMs, distributors, and end customers in driving sustainable energy together.

### Comprehensive Products and System Certificates

IEC61215/IEC61701/IEC61701/IEC62716  
 ISO 9001: Quality Management System  
 ISO 14001: Environmental Management System  
 ISO 14064: Greenhouse Gases Emissions and/or other  
 GHGAS 18001: Occupation Health and Safety Management System



Model	Backsheet Color	Power Range
TSM-DD06M.05(II)	Black	310-335W
FRAME COLOR: Black		



### High power output

- Reduce BOS cost with high power bin and module efficiency
- New cell string layout and split junction location reduces the energy loss caused by inter-row shading
- Lower resistance of half-cut cells and increased MBB (Multi Busbar) reflectance ensure higher power



### High energy generation, low LCOE

- Excellent 3rd party validated JAM and low light performance with cell process and module material optimization
- Low Pmax temp coefficient (PO: 36%) increases energy production
- Better anti-shading performance and lower operating temperature



### Outstanding visual appearance, easy to install

- Designed for superior rooftop aesthetics
- Thinner wires give eye-catching all black look
- Safe and easy to transport, handle, and install



### Certified to perform in highly challenging environments

- High PID resistance through cell process and module material control
- Resistant to salt acid sand and ammonia
- Over 30 in-house tests (UV, TC, HF etc.)
- Certified to 5400 Pa positive load and 2400 Pa negative load

### PERFORMANCE WARRANTY

10 Year Product Warranty, 25 Year Power Warranty

Guaranteed Power



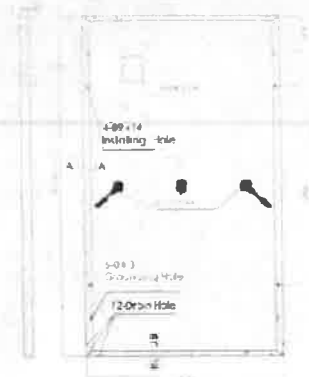
OCT 07 2021

## Residential Module

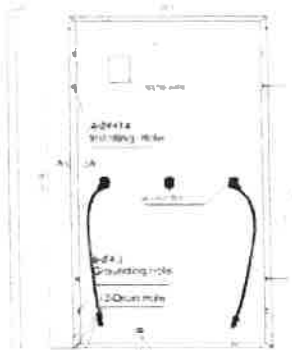
Planning Board Meeting

## MULTI-BUSBAR 120 HALF-CELL BOB MODULE

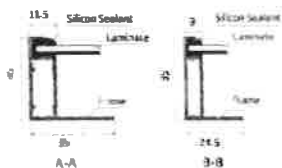
## DIMENSIONS OF PV MODULE(mm)



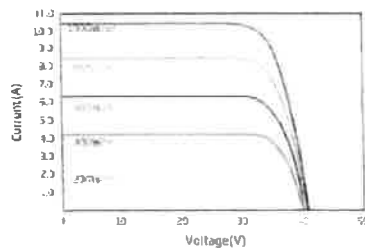
String Inverter Configuration



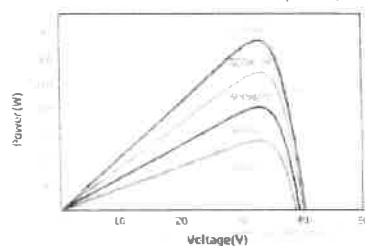
Microinverter or Optimizer Configuration



I-V CURVES OF PV MODULE (335W)



P-V CURVES OF PV MODULE (335W)



## ELECTRICAL DATA (STC)

Peak Power Watts- $P_{MAX}$ (Wp)*	310	315	320	325	330	335
Power Output Tolerance- $P_{MAX}$ (W)	0 ~ +5					
Maximum Power Voltage- $V_{MP}$ (V)	33.0	33.2	33.4	33.6	33.8	34.0
Maximum Power Current- $I_{MP}$ (A)	9.40	9.49	9.58	9.67	9.76	9.85
Open Circuit Voltage- $V_{OC}$ (V)	39.9	40.1	40.3	40.4	40.6	40.7
Short Circuit Current- $I_{SC}$ (A)	10.03	10.12	10.20	10.30	10.40	10.50
Module Efficiency $\eta$ (%)	18.2	18.5	18.8	19.1	19.4	19.7

STC: Irradiance 1000W/m<sup>2</sup>, Cell Temperature 25°C, Air Mass AM1.5\*Measuring tolerance:  $\pm 3\%$ 

## ELECTRICAL DATA (NMOT)

Maximum Power- $P_{MAX}$ (Wp)	235	238	242	246	250	254
Maximum Power Voltage- $V_{MP}$ (V)	31.0	31.2	31.4	31.6	31.7	31.9
Maximum Power Current- $I_{MP}$ (A)	7.57	7.64	7.71	7.79	7.86	7.94
Open Circuit Voltage- $V_{OC}$ (V)	37.6	37.8	38.0	38.1	38.3	38.4
Short Circuit Current- $I_{SC}$ (A)	8.08	8.15	8.22	8.30	8.38	8.46

NMOT: Irradiance at 800W/m<sup>2</sup>, Ambient Temperature 20°C, Wind Speed 1m/s.

## MECHANICAL DATA

Solar Cells	Monocrystalline
Cell Orientation	120 cells (6 × 20)
Module Dimensions	1698 × 1004 × 35 mm (66.85 × 39.53 × 1.38 inches)
Weight	18.7kg (41.2lb)
Glass	3.2mm (0.13 inches), High Transmission, AR Coated Tempered Glass
Encapsulant Material	EVA
Backsheet	Black
Frame	35 mm (1.38 inches) Anodized Aluminium Alloy
J-Box	IP68 rated
Cables	Photovoltaic Technology Cable 4.0mm <sup>2</sup> (0.006 inches <sup>2</sup> ) Portrait: N 140mm/P 285mm (5.51/11.22 inches) Landscape: N 1200 mm/P 1280 mm (47.24/47.24 inches)
Connector	MC4

## TEMPERATURE RATINGS

NMOT (Nominal Module Operating Temperature)	41°C ( $\pm 3^\circ\text{C}$ )
Temperature Coefficient of $P_{MAX}$	-0.36%/°C
Temperature Coefficient of $V_{OC}$	-0.26%/°C
Temperature Coefficient of $I_{SC}$	0.04%/°C

(Do not connect Fuse in Combiner Box with two or more strings in parallel connection)

## MAXIMUM RATINGS

Operational Temperature	-40 ~ +85°C
Maximum System Voltage	1000V DC (IEC)
	1000V DC (UL)
Max Series Fuse Rating	20A

## WARRANTY

- 10 year Product Workmanship Warranty
- 25 year Power Warranty

(Please refer to product warranty for details)

## PACKAGING CONFIGURATION

- Modules per box: 30 pieces
- Modules per 40' container: 780 pieces

## Reference Material

OCT 07 2021

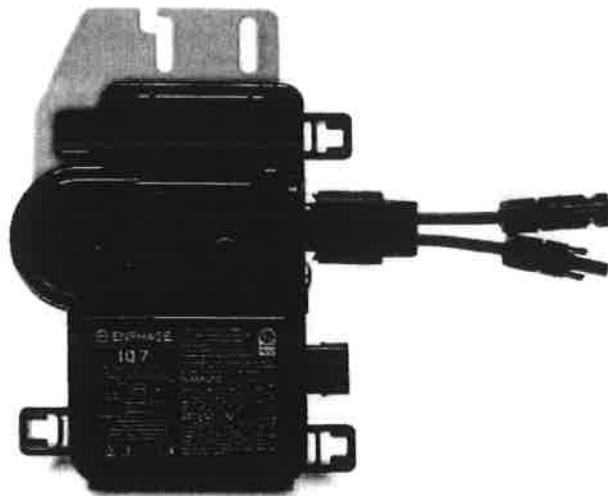
Planning Board Meeting

# Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready Enphase IQ 7 Micro™ and Enphase IQ 7+ Micro™ dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.



## Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

## Productive and Reliable

- Optimized for high powered 60-cell and 72-cell\* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

## Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

\* The IQ 7+ Micro is required to support 72-cell modules



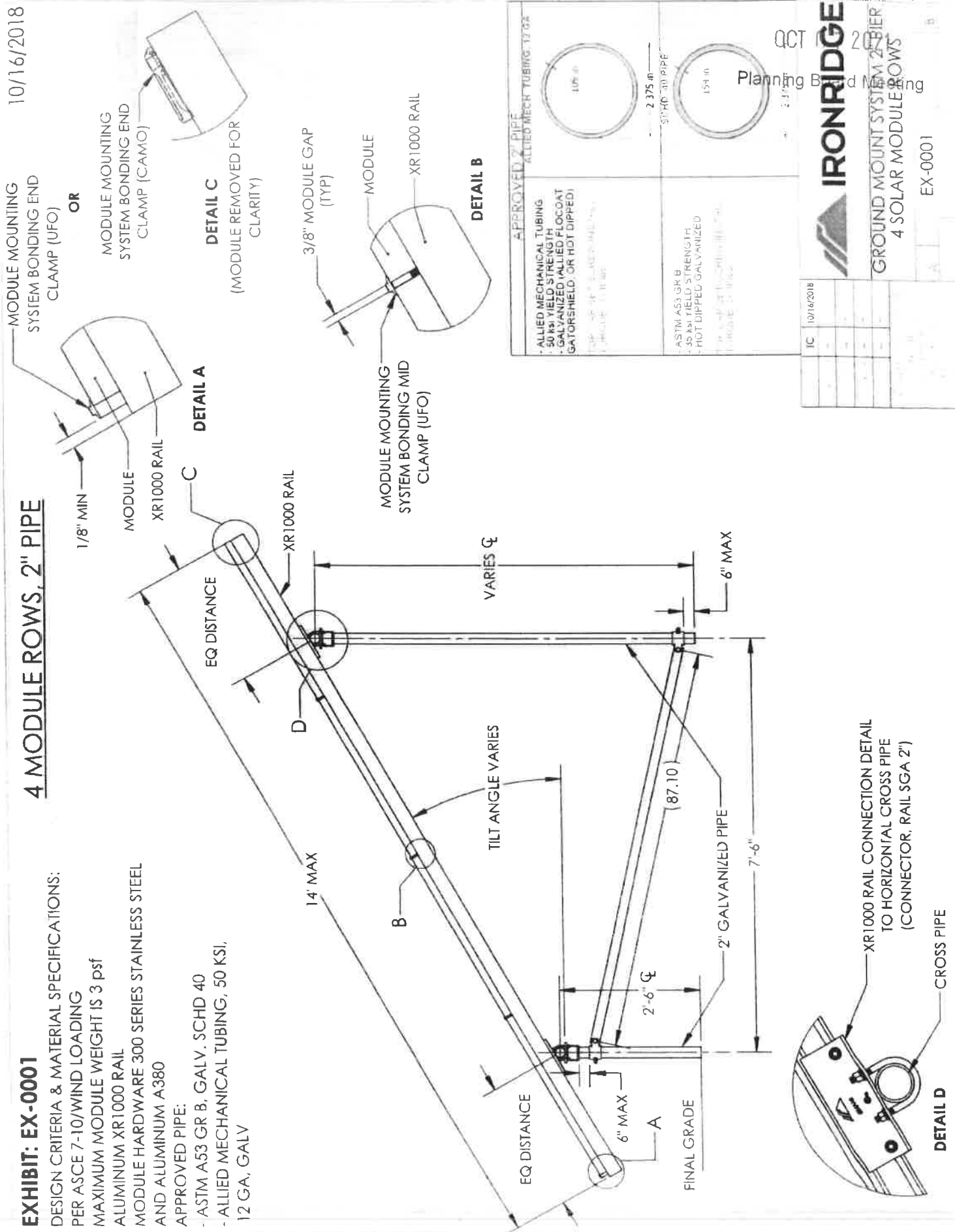
To learn more about Enphase offerings, visit [enphase.com](https://enphase.com)



Enphase IQ 7 and IQ 7+ MicroInverter

 ENPHASE





## DESIGN CRITERIA & MATERIAL SPECIFICATIONS:

PER ASCE 7-10/WIND LOADING

MAXIMUM MODULE WEIGHT IS 3 psf

ALUMINUM XR1000 RAIL

MODULE HARDWARE 300 SERIES STAINLESS STEEL

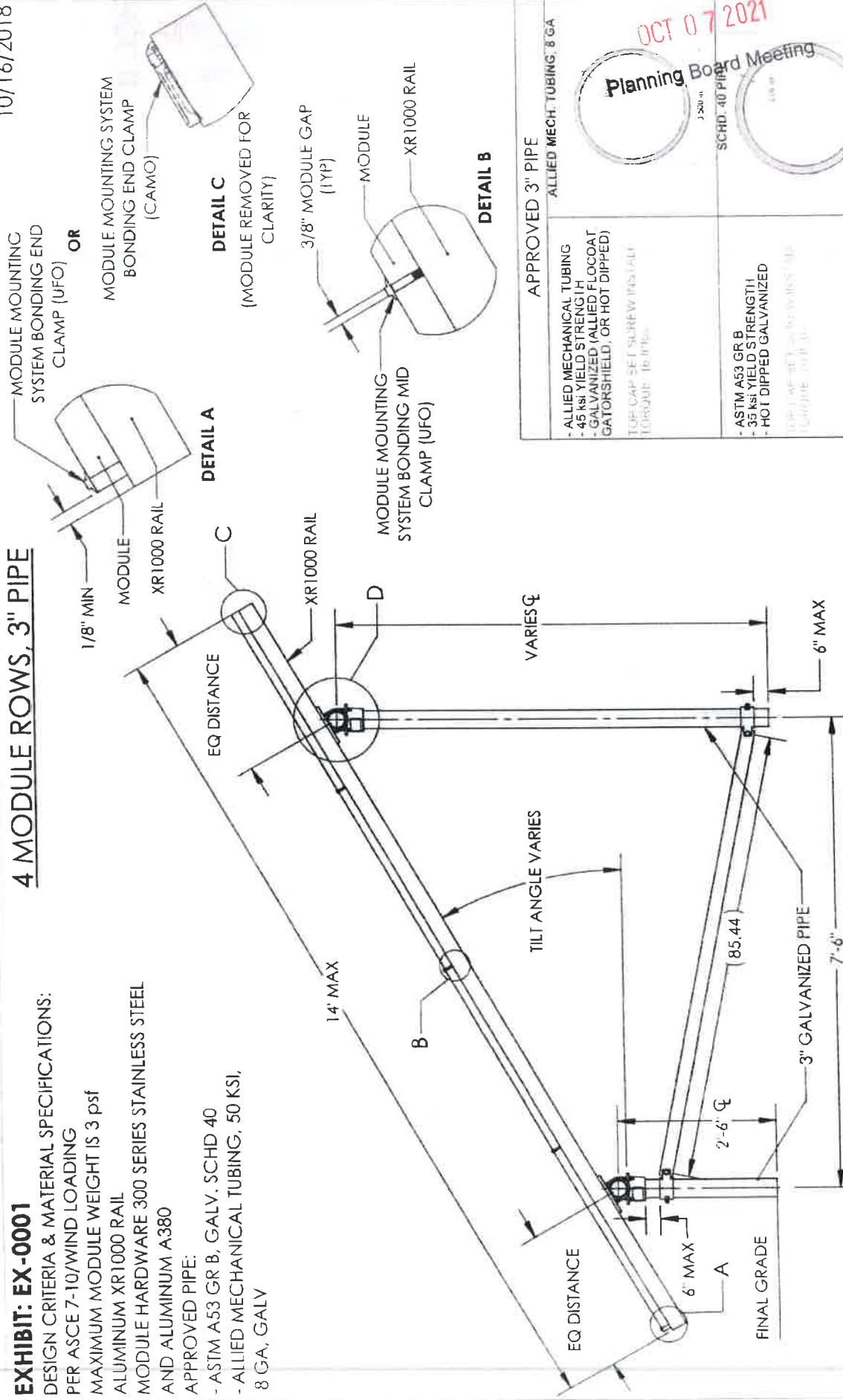
AND ALUMINUM A380

APPROVED PIPE:

- ASTM A53 GR B, GALV. SCHD 40

- ALLIED MECHANICAL TUBING, 50 KSI,

8 GA, GALV



**Reference Material**

OCT 07 2021

Planning Board Meeting

1520

SCHED. 40 PRO

4.511111111111111


**IRONRIDGE**

GROUND MOUNT SYSTEM 3" PIER,  
4 SOLAR MODULE ROWS

EX-0001

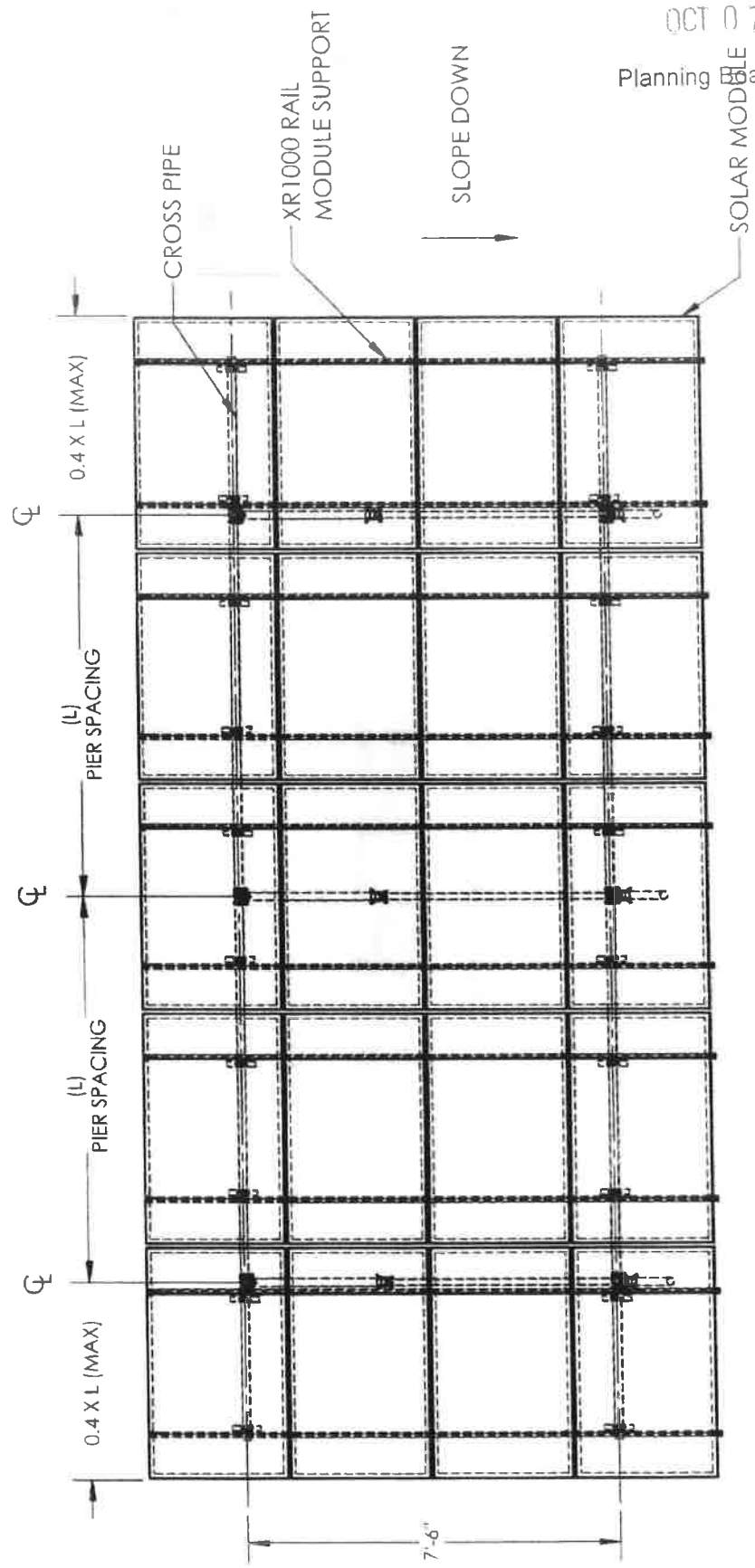
⌘

## DETAIL D

1000 RAIL CONNECTION DETAIL  
TO HORIZONTAL CROSS PIPE  
(CONNECTOR, RAIL SGA 3")

## CROSS PIPE

PLAN VIEW (6 PIER LAYOUT SHOWN)



Reference Material

OCT 07 2021

Planning Board Meeting

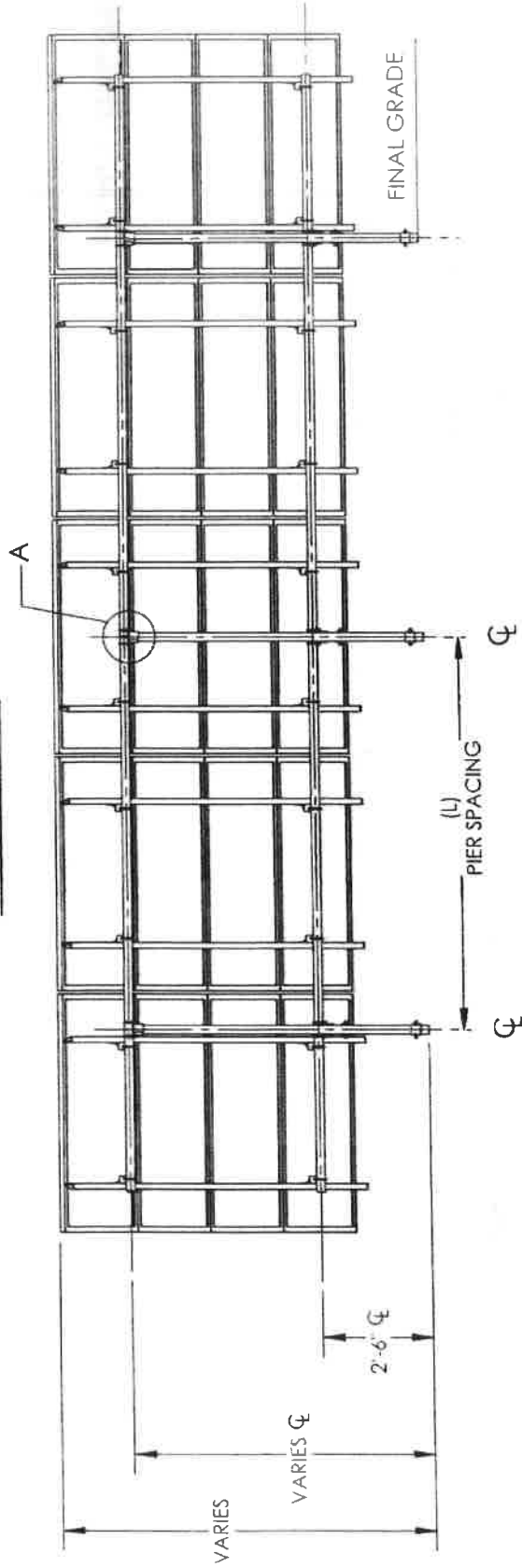


GROUND MOUNT SYSTEM, 4  
SOLAR MODULE ROWS

EX-0001

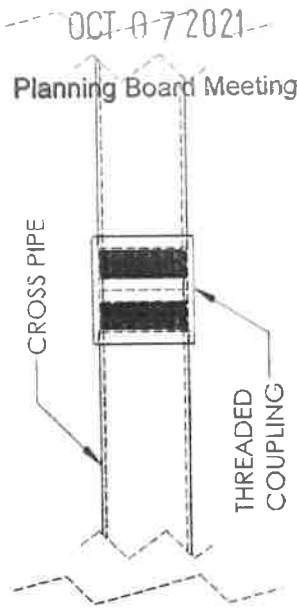
EXHIBIT: EX-0001

NORTH VIEW

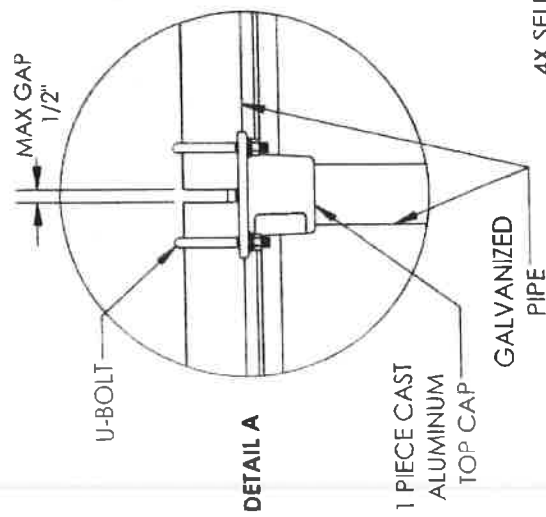


SPLICING CROSS PIPE

SCH. 40 PIPE SPLICE

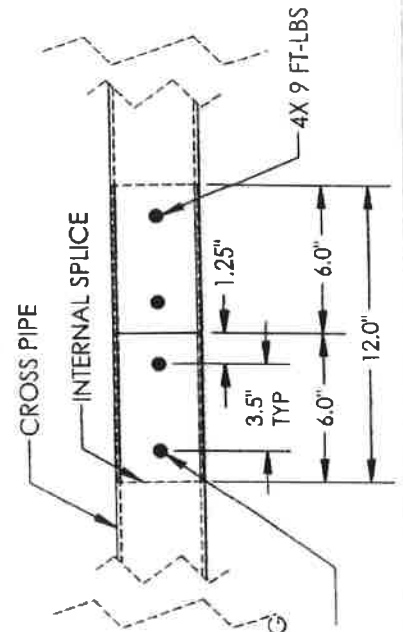


ALLIED MECHANICAL TUBE OR SCH. 40 PIPE SPLICE



Mechanical Tube Size of the Structure	Splice Tube Size
2.375" OD, 12 Gauge	2.000" OD, 9 Gauge, Minimum 12" Long
3.500" OD, 8 Gauge	3.000" OD, 12 Gauge, Minimum 12" Long

ALLIED MECHANICAL TUBE SPLICE



Reference Material

OCT 07 2021

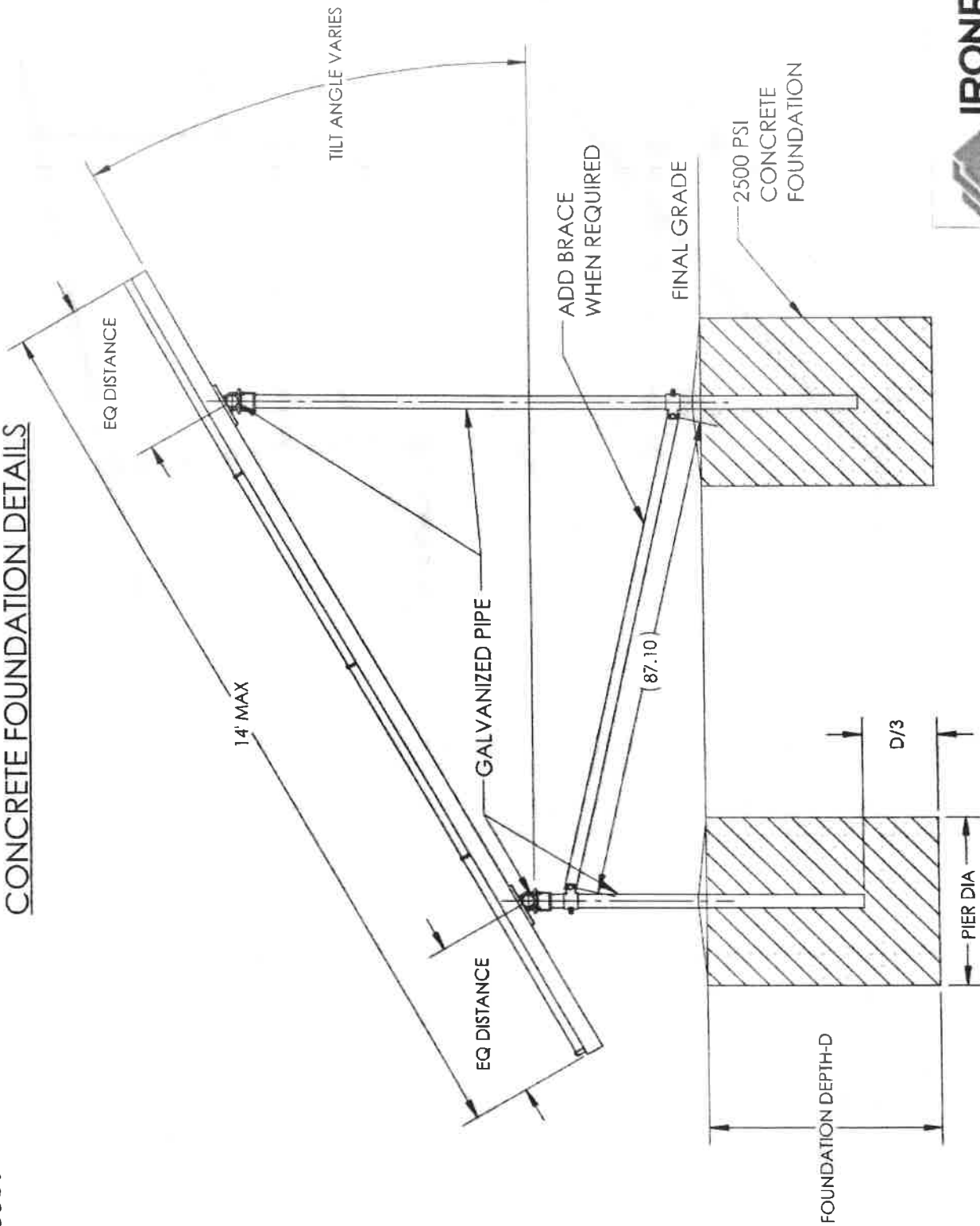
Planning Board Meeting



GROUND MOUNT SYSTEM, 4  
SOLAR MODULE ROWS

EX-0001

# CONCRETE FOUNDATION DETAILS



NOTE:  
 THE ATTACHED SPAN TABLES ARE BASED ON USING DRILLED CAST-IN-PLACE CONCRETE PIER FOUNDATION SYSTEM. OTHER FOUNDATION SYSTEMS (EG. SCREW ANCHORS, DRIVEN PIERS) ARE PERMISSIBLE BUT MAY REQUIRE ADDITIONAL BRACING AND/OR REDUCED SPAN. PLEASE CONTACT IRONRIDGE FOR MORE INFORMATION.



Reference Material

OCT 07 2021

Datasheet

Planning Board Meeting

## Ground Mount System



Mount on all terrains, in no time.

The IronRidge Ground Mount System combines our XR1000 rails with locally-sourced steel pipes to create a cost-effective structure capable of handling any site or terrain challenge.

Installation is simple with only a few structural components and no drilling, welding, or heavy machinery required. In addition, the system works with a variety of foundation options, including concrete piers and driven piles.



### Rugged Construction

Engineered steel and aluminum components ensure durability.



### PE Certified

Pre-stamped engineering letters available in most states.



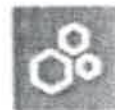
### Simple Assembly

Just a few simple components and no heavy equipment.



### Design Software

Online tool generates engineering values and bill of materials.



### Flexible Architecture

Multiple foundation and array configuration options.



### 20 Year Warranty

Twice the protection offered by competitors.

OCT 07 2021



# Ground Mount Configurations

## Strength Meets Flexibility

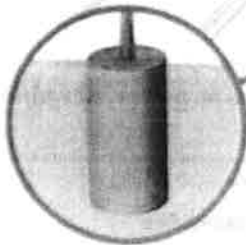
The IronRidge Ground Mount System supports a wide adjustment of tilt angle, foundation size and depth, and module size. These variables can be quickly optimized for cost and performance using the online Design Assistant tool.

One of the most critical engineering variables is the array size. For example, using 5-high columns in landscape significantly increases the number of modules per pier compared to 4-high columns, saving on pipe or mechanical tubing, and concrete.



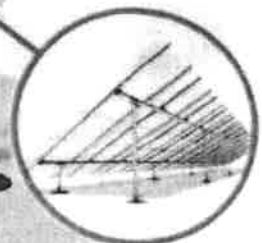
### XR1000 Rail

The curved shape of XR1000 increases vertical and lateral strength, while also resisting bending and twisting. Modules are attached using familiar top-down clamps or under clamps.



### Concrete Foundations

Concrete foundations allow for the largest possible spans and highest lateral force bearing, which eliminates the need for cross bracing.



### Steel Substructure

Multiple pipe and mechanical tubing size options help to optimize cost. The 3" option can increase East-West spans up to 18 feet, greatly reducing the number of piers and material required.

## Compatible with Soil Classes 2-4



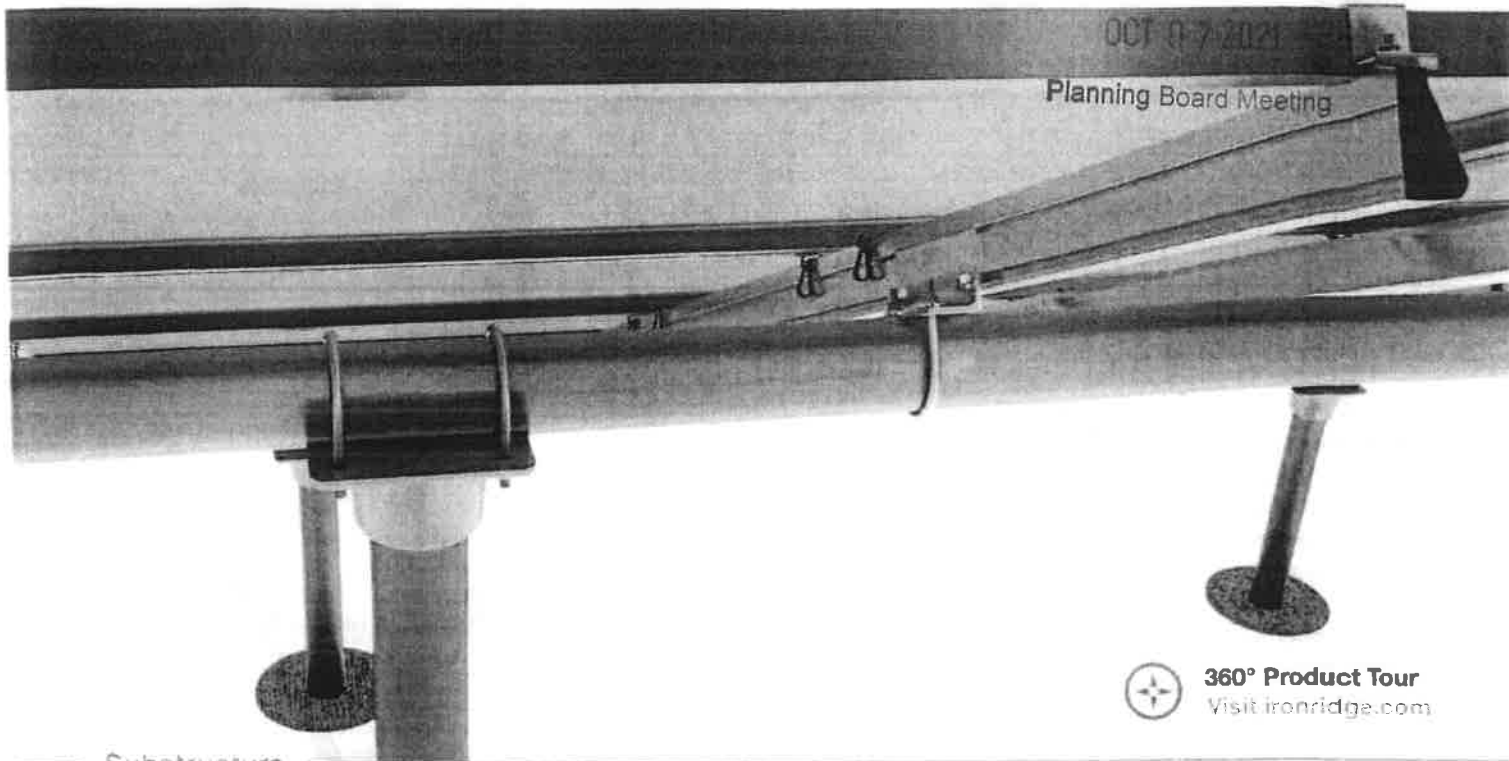
The size of Ground Mount foundations depends on a number of factors, including column height and site loading conditions. Stronger and sturdier soil classes (Class 2 and Class 3) allow for reduced foundation depth, saving on materials and labor.

## Wide Tilt Angle Range (0-45 Degrees)



Lower tilt angles are an effective way of reducing wind loads on ground mount structures, resulting in increased East-West pipe spans and reduced number of foundations. Refer to table on backside to see how tilt angle affects spans.





## Substructure

### Top Caps



Connect vertical and horizontal pipes.

### Rail Connectors



Attach Rail Assembly to horizontal pipes.

### Diagonal Braces



Provide additional support where required.

### Schedule 40 Pipes



Locally-sourced pipes serve as primary structure.

## Rail Assembly

### XR1000 Rails



Curved rails increase spanning capabilities.

### Top-Down Clamps



Secure modules to rails and substructure.

### Under Clamps



Alternative clamps for pre-attaching modules to rails.

### Accessories



Wire Clips and End Caps provide a finished look.

## Resources



### Design Assistant

Go from rough layout to fully engineered system. For free.

[GoToKnowledge.com/gta](http://GoToKnowledge.com/gta)



### NABCEP Certified Training

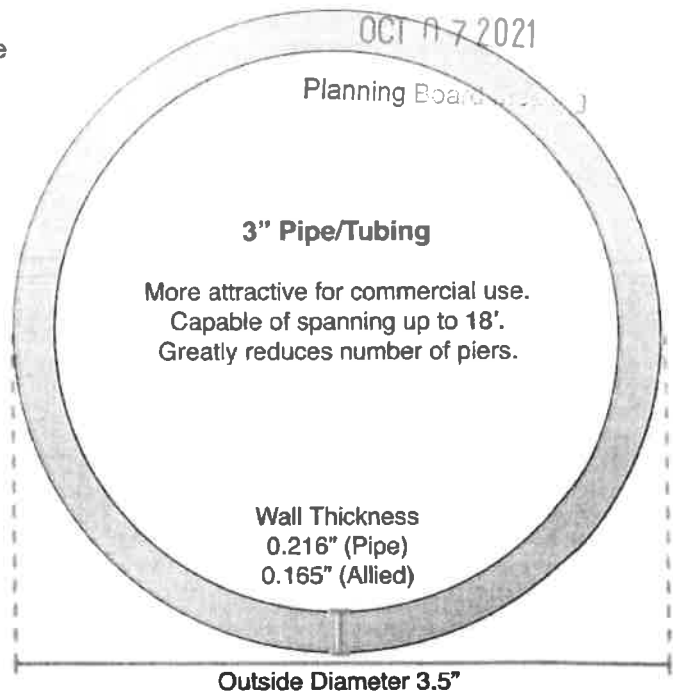
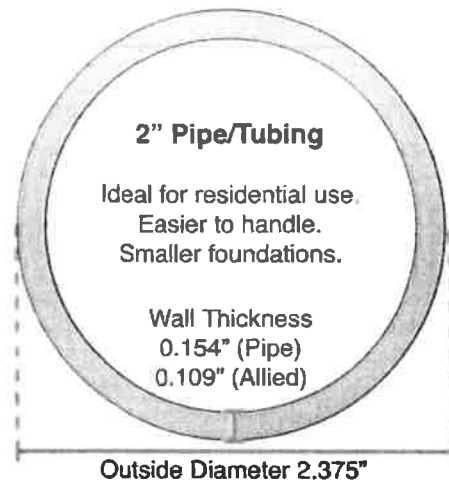
Earn free continuing education credits, while learning more about our systems.

[GoToKnowledge.com/training](http://GoToKnowledge.com/training)



## Substructure Selection

Ground Mount uses locally-sourced galvanized schedule 40 steel pipe (ASTM A53 Grade B, 35 ksi) or Allied mechanical tubing (2" – 50 ksi, 3" – 45 ksi) to reduce shipping costs. Mechanical tubing is lighter and can be easier to couple when building the substructure.



Refer to the following table to see how size impacts the East-West span between foundations. The table complies with ASCE 7-10 structural code. Values are based on 72-cell modules in Wind Exposure Category B.

Conditions				E-W Span							
Snow	Height	Tilt	Wind (MPH)	4'	6'	8'	10'	12'	14'	16'	18'
0 PSF	4-High	10°	100								
			120								
			140								
		30°	100		*	*					
			120	*	*						
			140	*	*						
	5-High	10°	100	2" Pipe/Tubing				3" Pipe/Tubing			
			120								
			140								
		30°	100		*	*					
			120	*	*						
			140	*	*						
30 PSF	4-High	10°	100								
			120								
			140								
		30°	100		*	*					
			120	*	*						
			140	*	*						
	5-High	10°	100								
			120								
			140								
		30°	100		*	*					
			120	*	*						
			140	*	*						

\*Requires Diagonal Bracing

PL-2021-013

American Tower



Reference Material

TOTALLY COMMITTED.

OCT 07 2021

Planning Board Meeting

September 15, 2021

Town of Austerlitz  
Building Department  
Glenn T. Smith  
PO Box 238  
Spencertown NY 12165



RE: American Tower Site #307198  
Verizon Site # 180544  
77 Loudon Rd Ghent NY 12075

Verizon Wireless is planning to modify ground based and tower mounted equipment at the above address.

Enclosed please find an application for commercial building permit, along with the construction drawings for your review and approval.

Please let me know if you require additional information, and once the application is approved please notify me, so I can make arrangements for payment.

I can be reached at 215.416.0363 or via email at [mweber@nbcllc.com](mailto:mweber@nbcllc.com).

Thank you for your assistance.

Sincerely,

Margie Weber  
Agent for American Tower

**TOWN OF AUSTERLITZ NEW YORK**  
**BUILDING PERMIT APPLICATION**

Reference Material

OCT 07 2021

**TAX MAP #**

Planning Board Meeting

Expiration Date: \_\_\_\_\_

Permit # \_\_\_\_\_

Permit fee \_\_\_\_\_

**1. LOCATION:**

House No. \_\_\_\_\_ Road Name 77 Loudon Rd Ghent NY 12075

Subdivision Name & Lot No. (if any) \_\_\_\_\_

**2. PROPERTY OWNER** American Tower / Estate of Hildegard Loudon PHONE \_\_\_\_\_

CURRENT ADDRESS 10 Presidential Way

CITY & STATE Woburn MA ZIP 01801

**3. CONTRACT OR BUILDER** Pro-Tel PHONE 667-336-1689

CURRENT ADDRESS 5132 State Highway 12

CITY & STATE Norwich NY ZIP 13815

**4. ZONING DISTRICT** ☐ RR - RURAL RESIDENTIAL ☐ A - HM AUSTERLITZ HAMLET ☐ S - HM SPENCERTOWN HAMLET

**5. EXISTING USE & OCCUPANCY:** Commercial - communication tower

**6. INTENDED USE & OCCUPANCY:** Same

**7. NATURE OF WORK:** ☐ NEW BUILDING ☒ ADDITION ☒ ALTERATION ☐ DECK ☐ SHED ☐ SWIMMING POOL  
☐ DEMOLITION ☐ OTHER

**8. ADDITIONAL DESCRIPTION** modifying ground based and tower mounted equipment as per site drawings

**9. WILL THIS PROPOSAL: (Please answer yes or no to each question)**

a. Involve new, or alterations to, electrical wiring? no

b. Involve new, or alterations to, or additional use of, a sewage disposal system? no

c. Require installation, or changes in location, of a driveway? no

d. Involve a change in use or occupancy? no

**10. SIZE OF BUILDING** \_\_\_\_\_ **NUMBER OF STORIES** \_\_\_\_\_ **DEPTH** \_\_\_\_\_ **WIDTH** \_\_\_\_\_ **HEIGHT** \_\_\_\_\_

**11. LOT DIMENSIONS** \_\_\_\_\_ **WIDTH** \_\_\_\_\_ **DEPTH** \_\_\_\_\_

**12. ESTIMATED COST** \$ \_\_\_\_\_

over

Planning Board Meeting

REAR YARD

OCT 17 2021

Planning Board Meeting

12. SET BACKS - LEFT YARD \_\_\_\_\_ RIGHT YARD \_\_\_\_\_ REAR YARD \_\_\_\_\_ FRONT YARD \_\_\_\_\_

14. APPLICATION IS HEREBY MADE to the Building Department for the issuance of a Building Permit pursuant to the New York State Uniform Fire Prevention and Building Code (Title 9 NYCRR) for the construction of buildings, additions or alterations, or for removal or demolition as herein described. The applicant agrees to comply with all applicable laws, ordinances and regulations, including New York State Energy Code requirements, and the Town of Austerlitz Zoning Ordinance.

Signature of Applicant                      Date 9/15/21

Approved ☐ YES ☐ NO By \_\_\_\_\_ Date \_\_\_\_\_ Title \_\_\_\_\_

Fee Paid \$ \_\_\_\_\_ Date Received \_\_\_\_\_ Check# \_\_\_\_\_

PERMIT DENIED ☐

REASON \_\_\_\_\_

REFERRED TO PLANNING BOARD

**Town Of Austerlitz  
Glenn T. Smith  
Building Department  
P.O. Box 238  
Spencertown, New York 12165  
518-392-5007 ext. 303**

Reference Material

OCT 07 2021

Planning Board Meeting

## **CONTRACTOR LETTER OF AUTHORIZATION**

Date \_\_\_\_\_

I, \_\_\_\_\_ authorize \_\_\_\_\_  
Print, Home Owners Name Person Obtaining Permit

To obtain a building permit from the Town of Austerlitz Building Department for \_\_\_\_\_  
Type Of Work

On my behalf for the property located at \_\_\_\_\_ SBL # \_\_\_\_\_  
Address of property where Work Will Be performed

Signed \_\_\_\_\_  
Homeowners Signature

617.20  
Appendix B  
Short Environmental Assessment Form

Reference Material  
OCT 07 2021  
Planning Board Meeting

**Instructions for Completing**

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

<b>Part 1 - Project and Sponsor Information</b>							
Name of Action or Project: <div style="text-align: center; font-family: cursive;">Verizon modifications</div>							
Project Location (describe, and attach a location map): <div style="text-align: center; font-family: cursive;">77 Loudon Rd Ghent NY 12075</div>							
Brief Description of Proposed Action: <div style="text-align: center; font-family: cursive;">Modify ground based and tower mounted equipment as indicated per project plans</div>							
Name of Applicant or Sponsor: <div style="text-align: center; font-family: cursive;">Network Building+ Consulting agent for Verizon Wireless</div>		Telephone: 215-416-0363 E-Mail: mweber@nbcllc.com					
Address: 1777 Sentry Park W Suite 400 Blue Bell PA 19422							
City/PO: Blue Bell		State: PA	Zip Code: 19422				
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:			<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; padding: 2px;">NO</td> <td style="width: 50%; padding: 2px;">YES</td> </tr> <tr> <td style="text-align: center; padding: 2px;"><input checked="" type="checkbox"/></td> <td style="text-align: center; padding: 2px;"><input type="checkbox"/></td> </tr> </table>	NO	YES	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NO	YES						
<input checked="" type="checkbox"/>	<input type="checkbox"/>						
3.a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres							
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland							

Page 2 of 4

## RESET



# Reference Material

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>

**I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor name: Margie Weber NB+C Date: 9/15/21

Signature: [Signature]

**Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2.** Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?" N/A

	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>
2. Will the proposed action result in a change in the use or intensity of use of land?	<input type="checkbox"/>	<input type="checkbox"/>
3. Will the proposed action impair the character or quality of the existing community?	<input type="checkbox"/>	<input type="checkbox"/>
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	<input type="checkbox"/>	<input type="checkbox"/>
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	<input type="checkbox"/>	<input type="checkbox"/>
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	<input type="checkbox"/>	<input type="checkbox"/>
7. Will the proposed action impact existing: a. public / private water supplies? b. public / private wastewater treatment utilities?	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	<input type="checkbox"/>	<input type="checkbox"/>
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	<input type="checkbox"/>	<input type="checkbox"/>

	No, or small impact may occur	Moderate to large impact may occur
Reference Material		
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	<input type="checkbox"/>	<input type="checkbox"/>
11. Will the proposed action create a hazard to environmental resources or human health?	<input type="checkbox"/>	<input type="checkbox"/>

**Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3.** For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.
<input type="checkbox"/>	Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.
<div> <div>Name of Lead Agency</div> <div>Date</div> </div>	
<div> <div>Print or Type Name of Responsible Officer in Lead Agency</div> <div>Title of Responsible Officer</div> </div>	
<div> <div>Signature of Responsible Officer in Lead Agency</div> <div>Signature of Preparer (if different from Responsible Officer)</div> </div>	

OCT 07 2021

Planning Board Meeting

**Town of Austerlitz Planning Board**  
**Application for Site Plan Review/Special Use Permit**

Application Date: 9/15/2021

Approval Request for: (check all that apply)

Site Plan ☒Site Plan Amendment ☐Special Use Permit ☒

Applicant: Name: VERIZON WIRELESS Email: mweber@nbcllc.com  
Mailing Address: 1777 Sentry Park West VEVA17 Suite 400  
City: Blue Bell State: PA Zip: 19422 Telephone: 215-416-0363

Owner: If different than applicant, if more than one owner provide information for each on separate sheet

Name: American Tower / Estate of Hildegard Louden Email: \_\_\_\_\_  
Street Address: 10 Presidential Way  
City: Woburn State: MA Zip: 01801 Telephone: \_\_\_\_\_

Project Information: Tax Map Number: \_\_\_\_\_ Parcel Acreage: \_\_\_\_\_

Location of Project/Street Address: 77 Louden Rd Glast NY 12075Current Land Use of Site: Communication tower

Current Condition of Site: \_\_\_\_\_

Character of abutting parcels: \_\_\_\_\_

Reference Material

Proposed Use(s) of site:

☐ Utilities

☐ Multi-family project

☐ In-Home Business

☒ Commercial Project

☐ Other (describe use below)

OCT 07 2021

Planning Board Meeting

Detailed Description of Proposed Use, including primary and secondary uses (use separate sheet if necessary):

proposed project includes modifying ground based  
and tower mounted equipment as indicated per  
project plans. Like replacement

Description of buildings to be used height, number of stories, square feet:

For residential projects include the number of dwelling units and size in square feet

Is the property within 500 feet of ?

☐ A municipal boundary

☐ County or State Park or recreation either existing or proposed

☐ State or County road or right-of-way, either existing or proposed

☐ State or County owned building or institution

☐ Stream or drainage channel owned by County or for which channel lines have been established

☐ Active farm operation within an Agricultural District

If any of the above is true the site plan must also be reviewed by the County Planning Board.

Applicants Signature: \_\_\_\_\_

Date: 9/15/2021

Margie Weber  
Network Building + Consulting

FOR OFFICE USE ONLY

Date Received: \_\_\_\_\_

Project ID: \_\_\_\_\_

Preliminary Review Date: \_\_\_\_\_

Final Review Date: \_\_\_\_\_

Final Decision: \_\_\_\_\_ Site Plan Unnecessary

\_\_\_\_\_ Approved

\_\_\_\_\_ Approved with conditions

\_\_\_\_\_ Denied

OCT 07 2021

Planning Board Meeting

**AMERICAN TOWER®**  
CORPORATION

This report was prepared for American Tower Corporation by

**Kimley»Horn**

---

## Antenna Mount Analysis Report

**ATC Site Name** : ACKER  
**ATC Site Number** : 307198  
**Engineering Number** : 13668656\_C9\_04  
**Mount Elevation** : 143 ft  
**Carrier** : Verizon Wireless  
**Carrier Site Name** : GHENT  
**Carrier Site Number** : 180544  
**Site Location** : 77 Louden Road  
Ghent, NY 12075  
42.28738056, -73.59192778  
**County** : Columbia  
**Date** : June 15, 2021  
**Max Usage** : 70%  
**Result** : Pass – Pending Mods

Prepared By:  
Rich Lam  
E.I.T.

Reviewed By:  
Michael Oglesby  
P.E.



6/16/2021

**Kimley-Horn Of New York, P.C. COA #80369**



Eng. Number 13668656\_C9\_04  
June 15, 2021

## Table of Contents

Introduction .....	OCT 07 2021	Reference Material	1
Supporting Documents.....	Planning Board Meeting	OCT 7 2021	1
Analysis.....			1
Conclusion.....			1
Antenna Loading.....			2
Structure Usages.....			2
Standard Conditions .....			3
Calculations .....			Attached



## Introduction

The purpose of this report is to summarize results of the antenna mount analysis performed for Verizon Wireless at 143 ft.

Reference Material

## Supporting Documents

OCT 07 2021

Planning Board Meeting

<b>Tower Analysis</b>	AiroSmith Engineering w/ATC Engineering Number 13668656_C9_03, dated 05/04/2021
<b>Mount Mapping</b>	Infinigy Job# 1009-Z0003-H, dated 05/09/2021
<b>Mount Analysis</b>	Kimley-Horn/ATC Engineering #13668656_C8_01, dated 05/17/2021
<b>Mount Modification</b>	Kimley-Horn/ATC Engineering #13668656_C9_04, dated 06/15/2021
<b>RFDS</b>	Verizon Wireless PSLC: 180544, dated 03/30/2021
<b>Photos</b>	Site Photos, dated 08/29/2019

## Analysis

This antenna mount was analyzed using RISA-3D v17 analysis software and Kimley-Horn's Mount Analysis Program.

<b>Basic Wind Speed:</b>	112 mph (3-Second Gust)
<b>Basic Wind Speed w/ Ice:</b>	40 mph (3-Second Gust) w/ 1" radial ice concurrent
<b>Codes:</b>	ANSI/TIA-222-H / 2018 IBC/ 2020 New York State Uniform Code
<b>Exposure Category:</b>	C
<b>Risk Category:</b>	II
<b>Topographic Factor Procedure:</b>	Method 2
<b>Feature:</b>	Flat
<b>Crest Height (H):</b>	0 ft
<b>Crest Length (L):</b>	0 ft
<b>Spectral Response:</b>	$S_s = 0.172$ , $S_1 = 0.056$
<b>Site Class:</b>	D - Stiff soil.
<b>Live Loads:</b>	$L_m = 500$ lbs., $L_v = 250$ lbs.

## Conclusion

Based on the analysis results, the mount meets the requirements per the applicable codes listed above. The mount can support the equipment as described in this report. If the pending modifications cited in the Supporting Documents table are not completed, the results of this analysis are no longer valid, and Verizon Wireless should contact American Tower's Site Manager for further direction on how to proceed.

If you have any questions or require additional information, please contact American Tower via email at [Engineering@americantower.com](mailto:Engineering@americantower.com). Please include the American Tower site name, site number, and engineering number in the subject line for any questions.



OCT 07 2021

### Antenna Loading

Mount Centerline (ft)	Antenna Centerline (ft)	Qty	Antenna Model
143	146.5	3	Samsung MT6407-77A
	144	6	JMA Wireless MX06FIT865-02 (71lbs)
		3	Commscope TD-850B-LTE78-43
		1	Raycap RCMD-6627-PF-48
		3	Samsung B5/B13 RRH-BR04C
		3	Samsung B2/B66A RRH-BR049

### Structure Usages

Structural Component	Controlling Usage	Pass/Fail
Offset Horizontals	17%	Pass
Offset Frame	70%	Pass
Bracing Members	46%	Pass
Face Horizontals	48%	Pass
Mount Pipes	30%	Pass
Stiff Arms	48%	Pass





Reference Material

OCT 07 2021

Planning Board Meeting

## Standard Conditions

### Analysis Method

RISA-3D (version 17.02.00), a commercially available analysis software package, was used to create a three-dimensional model of the antenna mounting system and calculate member stresses for various loading cases.

A proprietary tool internally developed by Kimley-Horn was used to calculate wind loading on all appurtenances, dishes, and mount members for various load cases. Selected output from the analysis is included.

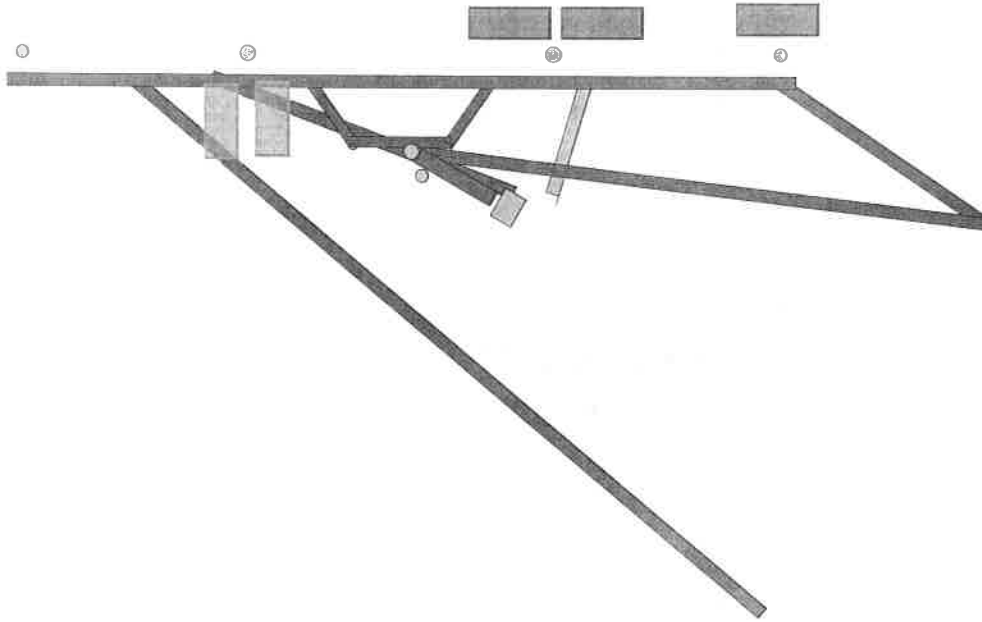
### Assumptions

- 1) The antenna mounting system (including any considered modifications) was properly fabricated, installed and maintained in good condition in accordance with its original design, TIA standards, and manufacturer's specifications.
- 2) The configuration of antennas, mounts, and other appurtenances are as specified in the Antenna Loading Table and the provided reference information.
- 3) All member connections are assumed to have been designed to meet or exceed the load carrying capacity of the connected member unless otherwise specified in this report.
- 4) The analysis will be required to be revised if the existing conditions in the field differ from those shown in the above-referenced documents or assumed in this analysis. No allowance was made for any damaged, missing, or rusted members that could not be verified at this time.
- 5) Steel grades have been assumed as follows, unless noted otherwise:

Channel, Solid Round, Angle, Plate	ASTM A36 (Gr. 36)
HSS (Rectangular)	ASTM A36 (Gr. 36)
Pipe	ASTM A53 (Gr. B-35)
Threaded Rods	ASTM A36 (Gr. 36)
Connection Bolts	ASTM A325

This analysis may be affected if any assumptions are not valid or have been made in error. Kimley-Horn should be notified to determine the effect on the structural integrity of the antenna mounting system.





Reference Material  
OCT 07 2021  
Planning Board Meeting

Envelope Only Solution

Kimley-Horn and Associates, Inc.

AVG

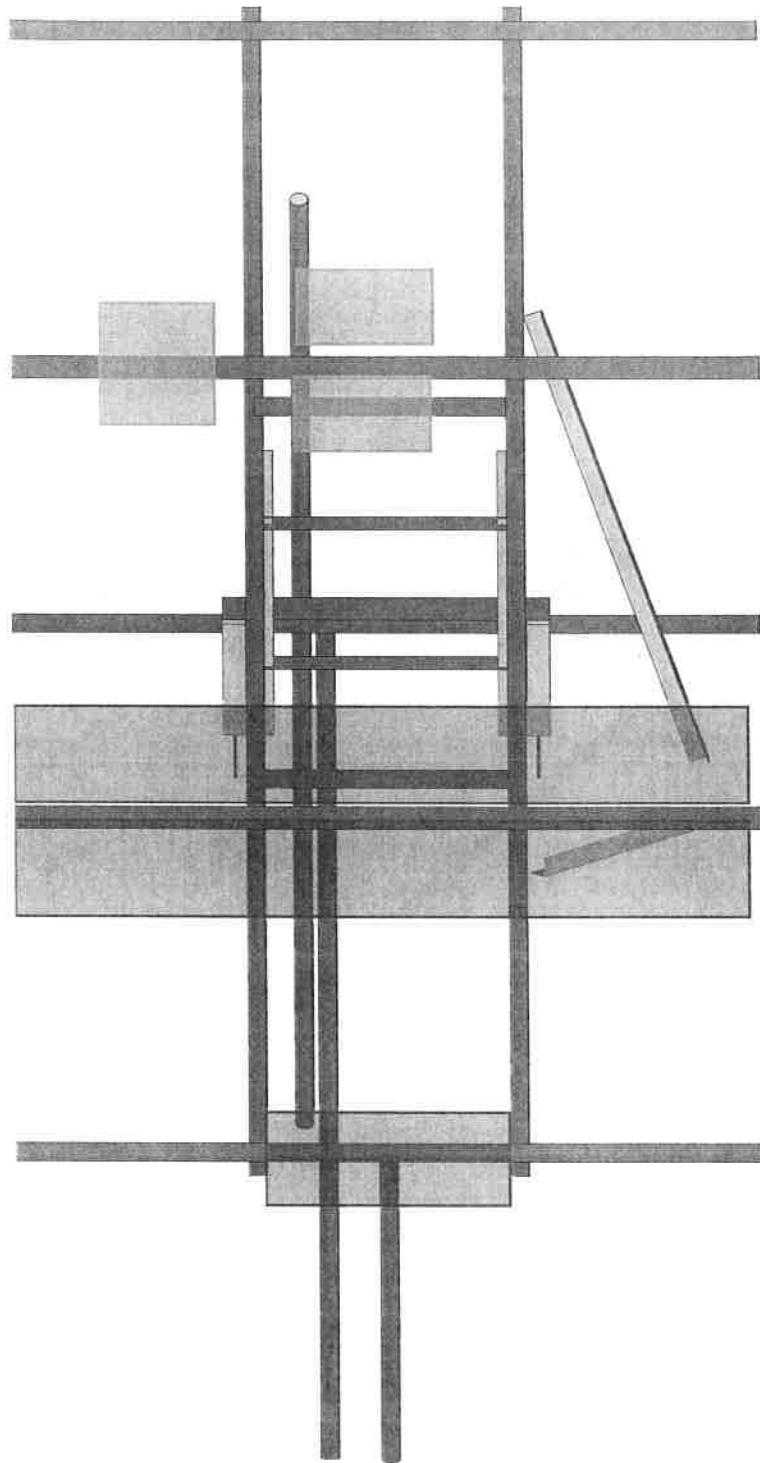
011916045

307198

SK - 2

June 11, 2021 at 10:58 AM

307198.r3d



MP 1

MP 2

MP 3

MP 4

Reference Material

OCT 07 2021

Planning Board Meeting

Envelope Only Solution

Kimley-Horn and Associates, Inc.

AVG

011916045

SK - 3

June 11, 2021 at 10:58 AM

307198.r3d

307198



Reference Material

OCT 07 2021

Planning Board Meeting



Envelope Only Solution

Kimley-Horn and Associat...

AVG

011916045

307198

SK - 5

June 11, 2021 at 10:59 AM

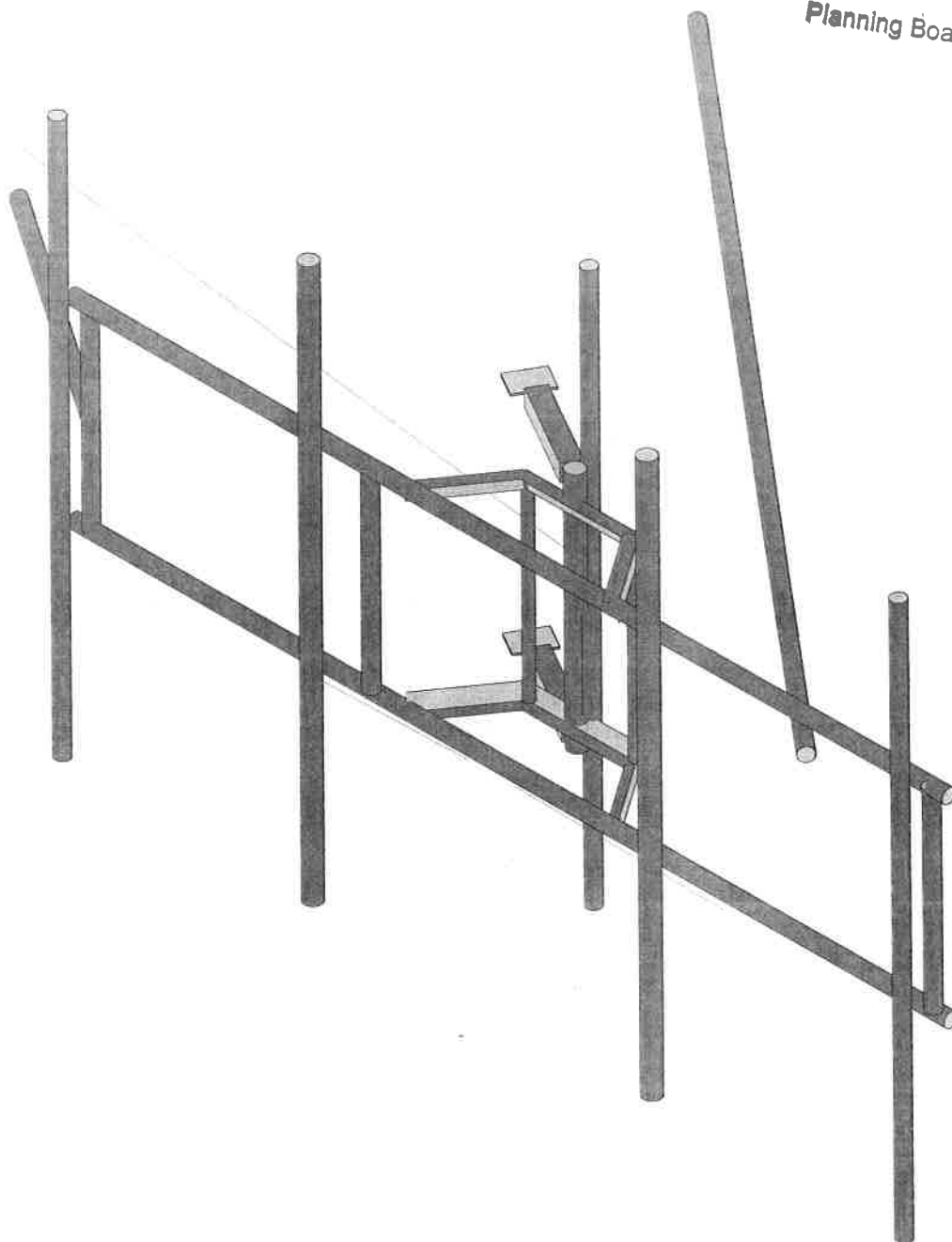
307198.r3d



**Reference Material**

OCT 07 2021

**Planning Board Meeting**



Envelope Only Solution

Kimley-Horn and Associat...

AVG

011916045

307198

SK - 6

June 11, 2021 at 11:00 AM

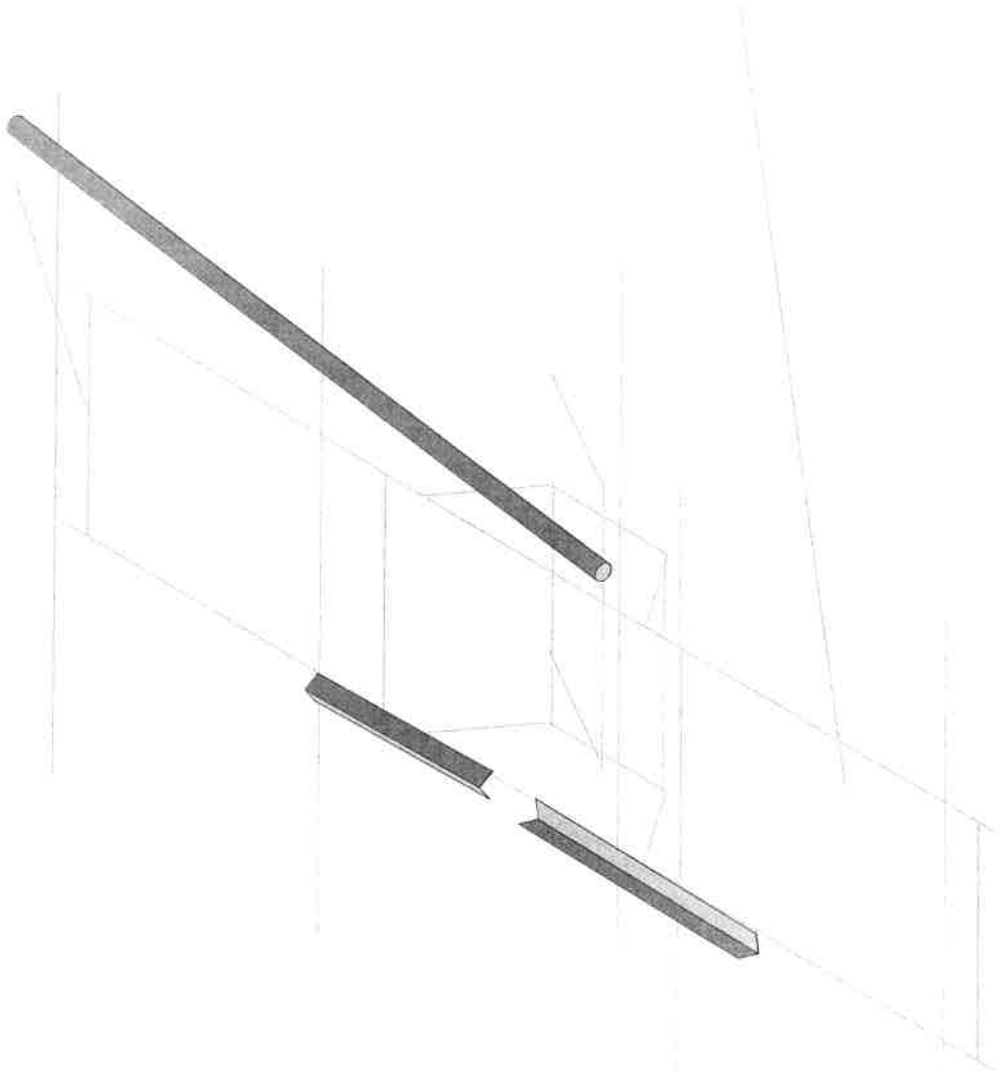
307198.r3d



Reference Material

OCT 07 2021

Planning Board Meeting



Envelope Only Solution

Kimley-Horn and Associat...

AVG

011916045

307198

SK - 7

June 11, 2021 at 11:00 AM

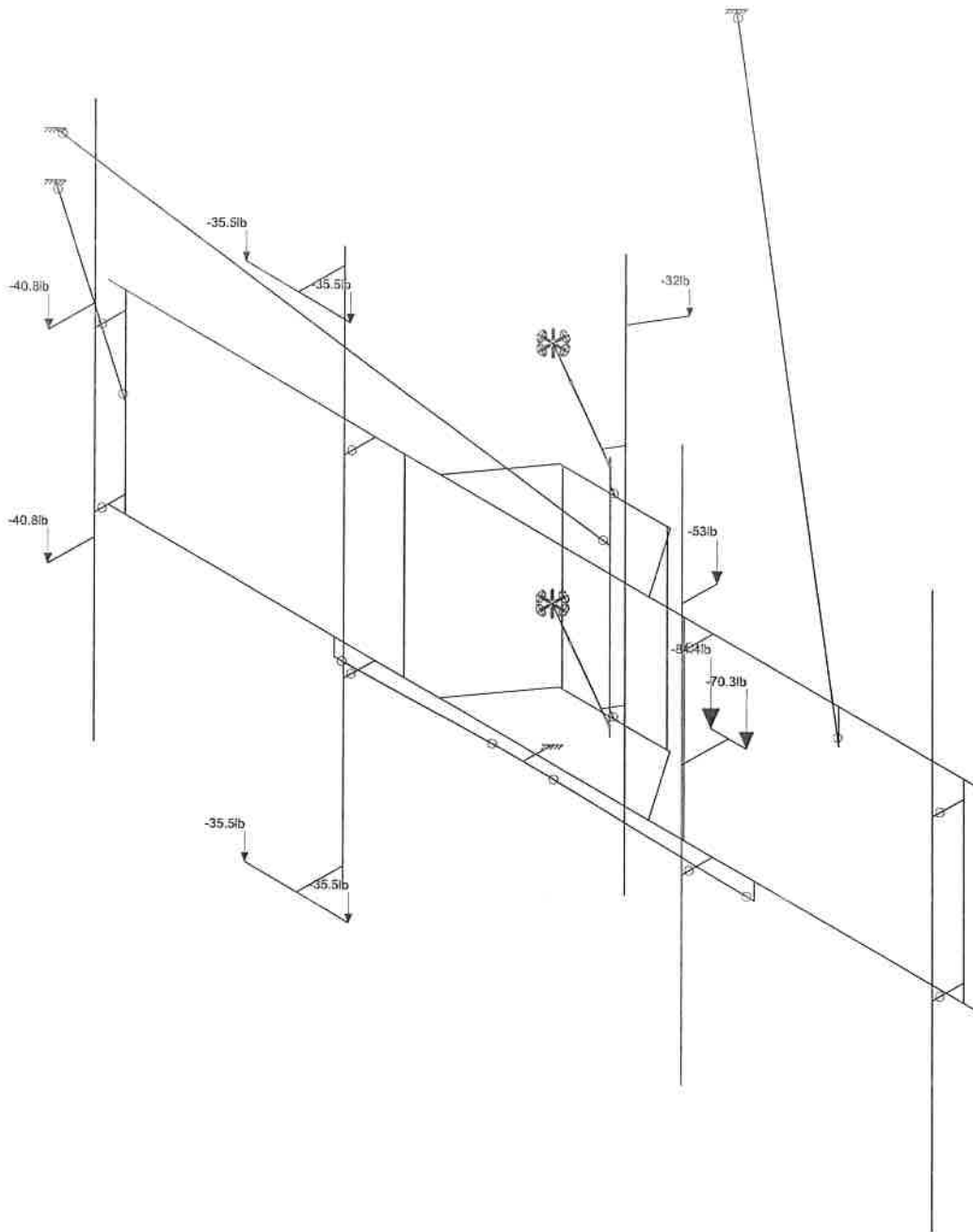
307198.r3d



Reference Material

OCT 07 2021

Planning Board Meeting



Loads: BLC 1, Dead  
Envelope Only Solution

Kimley-Horn and Associat...

AVG

011916045

307198

SK - 8

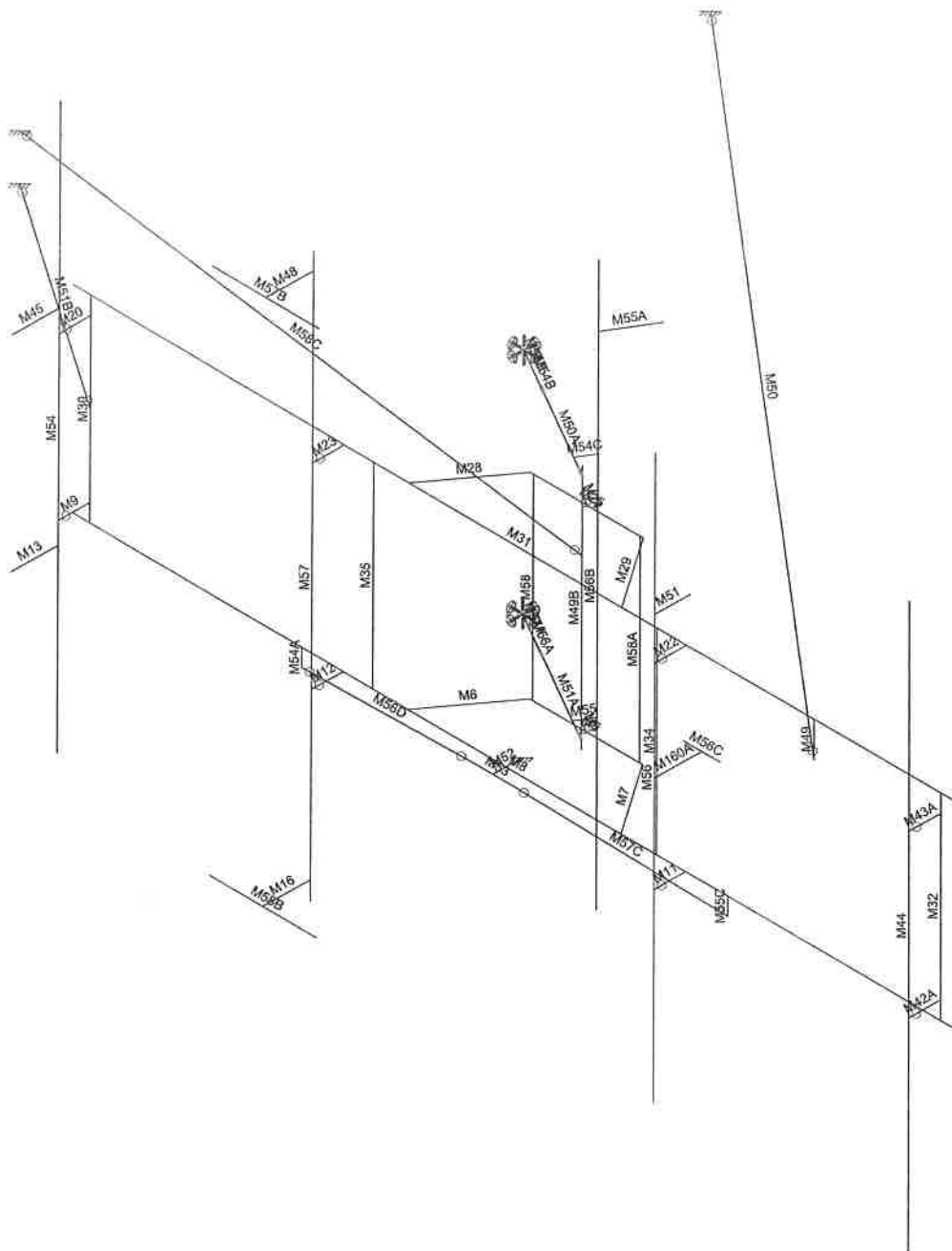
June 11, 2021 at 11:00 AM

307198.r3d



OCT 07 2021

Planning Board Meeting



Envelope Only Solution

Kimley-Horn and Associat...

AVG

011916045

307198

SK - 9

June 11, 2021 at 11:00 AM

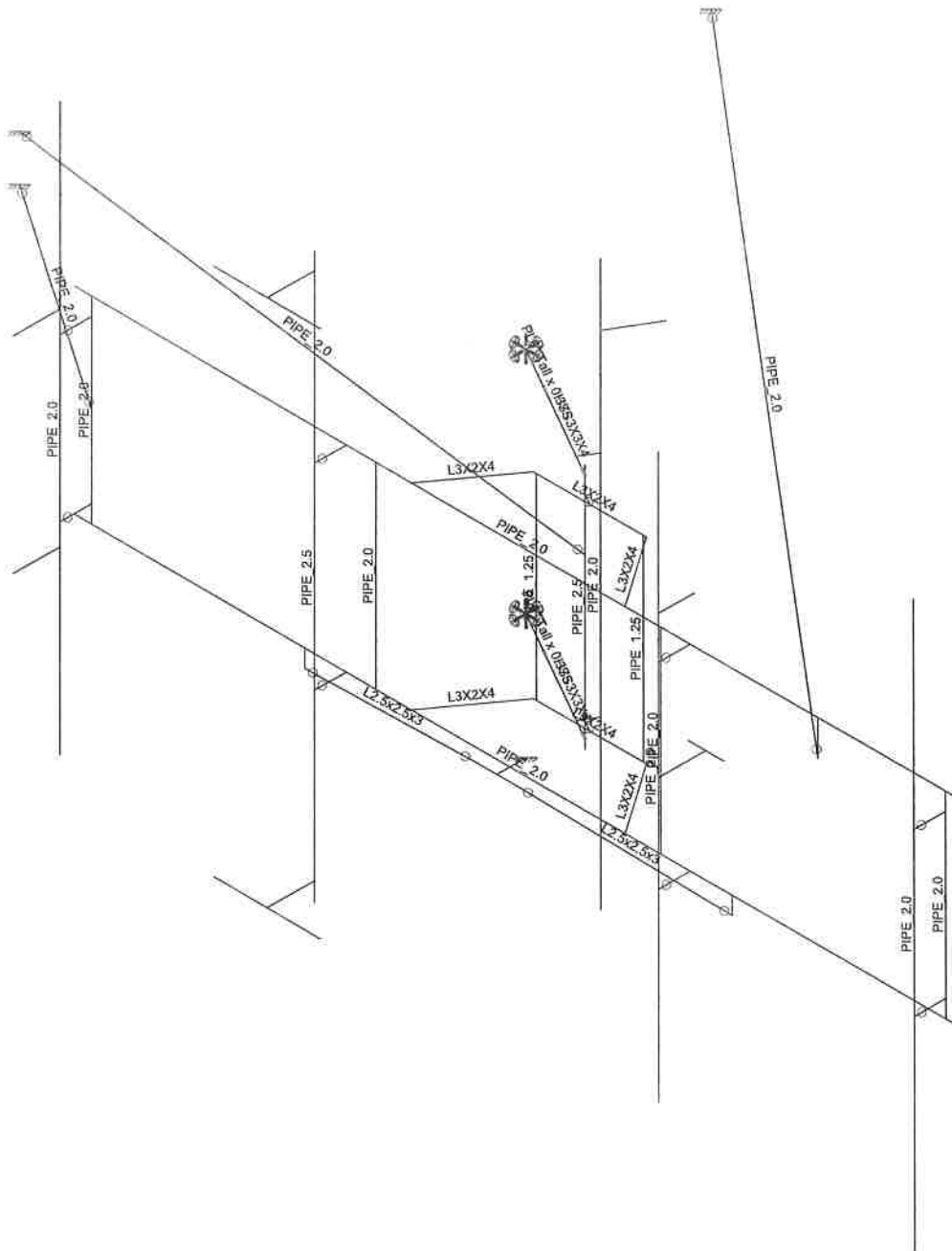
307198.r3d



# Reference Material

OCT 07 2021

Planning Board Meeting



Envelope Only Solution

Kimley-Horn and Associat...

AVG

011916045

307198

SK - 10

June 11, 2021 at 11:00 AM

307198.r3d

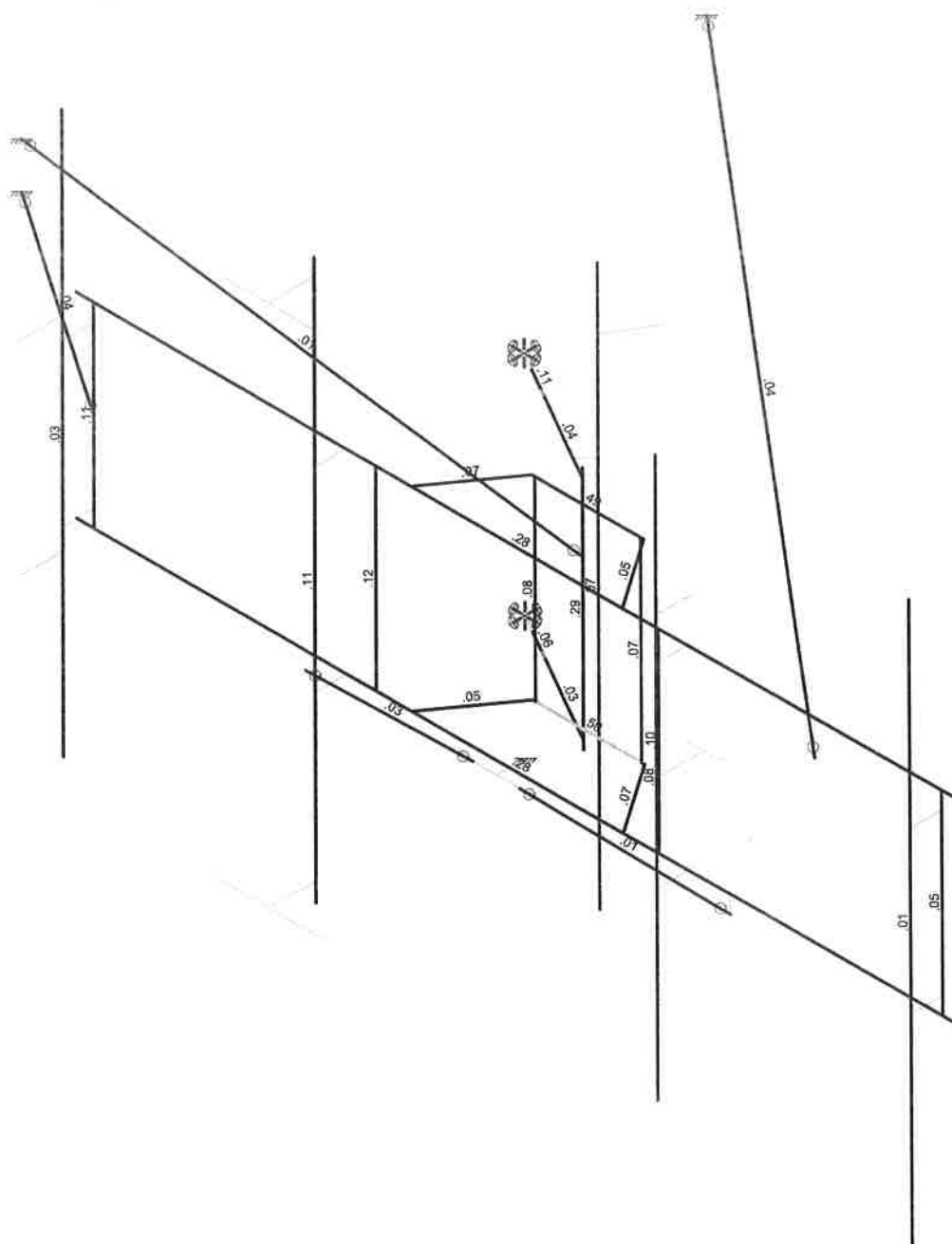
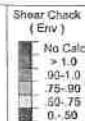




Reference Material

OCT 07 2021

Planning Board Meeting



Member Shear Checks Displayed (Enveloped)  
Envelope Only Solution

Kimley-Horn and Associat...		SK - 12
AVG	307198	June 11, 2021 at 11:01 AM
011916045		307198.r3d

Company : Kimley-Horn and Associates, Inc.  
 Designer : AVG  
 Job Number : 011916045  
 Model Name : 307198

Reference Material  
 June 11, 2021  
 10:57 AM  
 Checked By: MLO  
 OCT 07 2021

Planning Board Meeting

### Joint Boundary Conditions

	Joint Label	X [k/in]	Y [k/in]	Z [k/in]	X Rot.[k-ft/rad]	Y Rot.[k-ft/rad]	Z Rot.[k-ft/rad]
1	N100	Reaction	Reaction	Reaction	Reaction	Reaction	
2	N103	Reaction	Reaction	Reaction	Reaction	Reaction	
3	N101	Reaction	Reaction	Reaction	Reaction	Reaction	Reaction
4	N102A	Reaction	Reaction	Reaction	Reaction	Reaction	Reaction
5	N98	Reaction	Reaction	Reaction	Reaction	Reaction	Reaction
6	N108A	Reaction	Reaction	Reaction	Reaction	Reaction	Reaction

### Member Primary Data

	Label	I Joint	J Joint	K Joint	Rotate(...)	Section/Shape	Type	Design List	Material	Design Rules
1	M4	N9	N10			RIGID	None	None	RIGID	Typical
2	M5	N12	N11			Offset Horiz	Beam	None	A36 Gr.36	Typical
3	M6	N14	N12			Offset Horiz	Beam	None	A36 Gr.36	Typical
4	M7	N11	N13			Offset Horiz	Beam	None	A36 Gr.36	Typical
5	M8	N307	N305		270	Face Horiz	Beam	None	A53 Gr.B	Typical
6	M9	M5	N23			RIGID	None	None	RIGID	Typical
7	M11	M2	N25			RIGID	None	None	RIGID	Typical
8	M12	M4	N27			RIGID	None	None	RIGID	Typical
9	M13	N28	A4B			RIGID	None	None	RIGID	Typical
10	M16	N31	N1000			RIGID	None	None	RIGID	Typical
11	M20	N42	N45			RIGID	None	None	RIGID	Typical
12	M22	N44	N47			RIGID	None	None	RIGID	Typical
13	M23	N48	N49			RIGID	None	None	RIGID	Typical
14	M24	N50	N51			RIGID	None	None	RIGID	Typical
15	M25	N52	N53		180	Offset Horiz	Beam	None	A36 Gr.36	Typical
16	M28	N53	N55		180	Offset Horiz	Beam	None	A36 Gr.36	Typical
17	M29	N54	N52		180	Offset Horiz	Beam	None	A36 Gr.36	Typical
18	M30	N56	N20		300	Face Vert Brace	Column	None	A53 Gr.B	Typical
19	M31	N308	N306		180	Face Horiz	Beam	None	A53 Gr.B	Typical
20	M32	N57	N70A		300	Face Vert Brace	Column	None	A53 Gr.B	Typical
21	M34	N59	N22		300	Face Vert Brace	Column	None	A53 Gr.B	Typical
22	M35	N60	N26		300	Face Vert Brace	Column	None	A53 Gr.B	Typical
23	M54	N88	N1		300	Mount Pipe	Column	None	A53 Gr.B	Typical
24	M56	N90	N3		300	PIPE 2.5	Column	None	A53 Gr.B	Typical
25	M57	N91	N4		300	PIPE 2.5	Column	None	A53 Gr.B	Typical
26	M58	N93	N92		120	Offset Vert Brace	Column	None	A36 Gr.36	Typical
27	M58A	N95	N94		210	Offset Vert Brace	Column	None	A36 Gr.36	Typical
28	M42A	M1	N71			RIGID	None	None	RIGID	Typical
29	M43A	N72	N73			RIGID	None	None	RIGID	Typical
30	M44	N74	N69A		300	Mount Pipe	Column	None	A53 Gr.B	Typical
31	M45	N75	A4T			RIGID	None	None	RIGID	Typical
32	M48	N78	N1001			RIGID	None	None	RIGID	Typical
33	M51	N87	A2R			RIGID	None	None	RIGID	Typical
34	M49B	N90A	N91B		60	Stand-Off Front V...	Beam	None	A53 Gr.B	Typical
35	M50A	N93B	N92A			Stand-Off Horiz	Beam	None	A500 Gr.B R...	Typical
36	M51A	N95B	N94A			Stand-Off Horiz	Beam	None	A500 Gr.B R...	Typical
37	M54B	N99	N93B		90	Stand-Off Rear C...	Beam	None	A36 Gr.36	Typical
38	M55B	N100	N99			RIGID	None	None	RIGID	Typical
39	M56A	N102	N95B		90	Stand-Off Rear C...	Beam	None	A36 Gr.36	Typical
40	M57A	N103	N102			RIGID	None	None	RIGID	Typical
41	M160A	N291A	N293A			RIGID	None	None	RIGID	Typical
42	M49	N295A	N96A		300	RIGID	None	None	RIGID	Typical
43	M50	N101	N96A			Stiff Arm	Beam	None	A53 Gr.B	Typical
44	M51B	N95A	N102A			Stiff Arm	Beam	None	A53 Gr.B	Typical
45	M54C	N104	N106A			RIGID	None	None	RIGID	Typical

Company : Kimley-Horn and Associates, Inc.  
 Designer : AVG  
 Job Number : 011916045  
 Model Name : 307198

June 11, 2021  
 Reference Material  
 Checked By: MLO

OCT 07 2021

### Member Primary Data (Continued)

Planning Board Meeting

	Label	I Joint	J Joint	K Joint	Rotate(...)	Section/Shape	Type	Design List	Material	Design Rules
46	M55	N105	N107A			RIGID	None	None	RIGID	Typical
47	M56B	N108	N109		300	Mount Pipe	Column	None	A53 Gr.B	Typical
48	M55A	N104A	N107			RIGID	None	None	RIGID	Typical
49	M56C	A2RR	A2RL			RIGID	None	None	RIGID	Typical
50	M57B	A3TR	A3TL			RIGID	None	None	RIGID	Typical
51	M58B	A3BR	A3BL			RIGID	None	None	RIGID	Typical
52	M52	N98	N99A			RIGID	None	None	RIGID	Typical
53	M53	N100A	N101A			RIGID	None	None	RIGID	Typical
54	M54A	N105A	N103A			RIGID	None	None	RIGID	Typical
55	M55C	N106	N104B			RIGID	None	None	RIGID	Typical
56	M56D	N100A	N105A		270	MOD - SFS	Beam	None	A36 Gr.36	Typical
57	M57C	N101A	N106			MOD - SFS	Beam	None	A36 Gr.36	Typical
58	M58C	N107B	N108A			MOD - Stiff Arm	Beam	None	A53 Gr.B	Typical

### Hot Rolled Steel Design Parameters

	Label	Shape	Length[in]	Lbyy[in]	Lbzz[in]	Lcomp top[...]	Lcomp bot[...]	L-torq...	Kyy	Kzz	Cb	Funci...
1	M5	Offset Horiz	19			Lbyy						Lateral
2	M6	Offset Horiz	14.807			Lbyy						Lateral
3	M7	Offset Horiz	14.807			Lbyy						Lateral
4	M8	Face Horiz	150	36	54	Lbyy						Lateral
5	M25	Offset Horiz	19			Lbyy						Lateral
6	M28	Offset Horiz	14.807			Lbyy						Lateral
7	M29	Offset Horiz	14.807			Lbyy						Lateral
8	M30	Face Vert Brace	33.54			Lbyy			.65	.65		Lateral
9	M31	Face Horiz	150	54	36	Lbyy						Lateral
10	M32	Face Vert Brace	33.54			Lbyy			.65	.65		Lateral
11	M34	Face Vert Brace	33.54			Lbyy			.65	.65		Lateral
12	M35	Face Vert Brace	33.54			Lbyy			.65	.65		Lateral
13	M54	Mount Pipe	96			Lbyy						Lateral
14	M56	PIPE 2.5	96			Lbyy						Lateral
15	M57	PIPE 2.5	96			Lbyy						Lateral
16	M58	Offset Vert Brace	33.54			Lbyy			.65	.65		Lateral
17	M58A	Offset Vert Brace	33.54			Lbyy			.65	.65		Lateral
18	M44	Mount Pipe	96			Lbyy						Lateral
19	M49B	Stand-Off Front Vert	42			Lbyy						Lateral
20	M50A	Stand-Off Horiz	19			Lbyy						Lateral
21	M51A	Stand-Off Horiz	19			Lbyy						Lateral
22	M54B	Stand-Off Rear Con...	4.5			Lbyy						Lateral
23	M56A	Stand-Off Rear Con...	4.5			Lbyy						Lateral
24	M50	Stiff Arm	155.915			Lbyy						Lateral
25	M51B	Stiff Arm	47.41			Lbyy						Lateral
26	M56B	Mount Pipe	96									Lateral
27	M56D	MOD - SFS	30.97			Lbyy						Lateral
28	M57C	MOD - SFS	64.873			Lbyy						Lateral
29	M58C	MOD - Stiff Arm	109.951			Lbyy						Lateral

### Hot Rolled Steel Properties

	Label	E [ksi]	G [ksi]	Nu	Therm (1...	Density[k/ft^3]	Yield[ksi]	Ry	Fu[ksi]	Rt
1	A992	29000	11154	.3	.65	.49	50	1.1	65	1.1
2	A36 Gr.36	29000	11154	.3	.65	.49	36	1.5	58	1.2
3	A572 Gr.50	29000	11154	.3	.65	.49	50	1.1	65	1.1
4	A500 Gr.B RND	29000	11154	.3	.65	.527	42	1.4	58	1.3
5	A500 Gr.B Rect	29000	11154	.3	.65	.527	46	1.4	58	1.3
6	A53 Gr.B	29000	11154	.3	.65	.49	35	1.6	60	1.2

Company : Kimley-Horn and Associates, Inc.  
 Designer : AVG  
 Job Number : 011916045  
 Model Name : 307198

June 11, 2021  
 10:57 AM  
 Checked By: MLO

OCT 07 2021

Planning Board Meeting

**Hot Rolled Steel Properties (Continued)**

	Label	E [ksi]	G [ksi]	Nu	Therm (\...	Density[k/ft^3]	Yield[ksi]	Rv	Fu[ksi]	Rt
7	A1085	29000	11154	.3	.65	.49	50	1.4	65	1.3
8	A500 GR.C RND	29000	11154	.3	.65	.49	46	1.5	58	1.3
9	A500 GR.C RECT	29000	11154	.3	.65	.49	50	1.5	58	1.3

**Basic Load Cases**

	BLC Description	Category	X Gravity	Y Gravity	Z Gravity	Joint	Point	Distribu...	Area(M...	Surface...
1	Dead	DL			-1	10				
2	Dead of Ice	RL				10		29		
4	Structure Wind (0)	None						58		
5	Structure Wind (30)	None						58		
6	Structure Wind (45)	None						58		
7	Structure Wind (60)	None						58		
8	Structure Wind (90)	None						58		
9	Structure Wind (120)	None						58		
10	Structure Wind (135)	None						58		
11	Structure Wind (150)	None						58		
12	Structure Wind w/ Ice (0)	None						58		
13	Structure Wind w/ Ice (30)	None						58		
14	Structure Wind w/ Ice (45)	None						58		
15	Structure Wind w/ Ice (60)	None						58		
16	Structure Wind w/ Ice (90)	None						58		
17	Structure Wind w/ Ice (120)	None						58		
18	Structure Wind w/ Ice (135)	None						58		
19	Structure Wind w/ Ice (150)	None						58		
20	Antenna Wind (0)	None				20				
21	Antenna Wind (30)	None				20				
22	Antenna Wind (45)	None				20				
23	Antenna Wind (60)	None				20				
24	Antenna Wind (90)	None				20				
25	Antenna Wind (120)	None				20				
26	Antenna Wind (135)	None				20				
27	Antenna Wind (150)	None				20				
28	Antenna Wind w/ Ice (0)	None				20				
29	Antenna Wind w/ Ice (30)	None				20				
30	Antenna Wind w/ Ice (45)	None				20				
31	Antenna Wind w/ Ice (60)	None				20				
32	Antenna Wind w/ Ice (90)	None				20				
33	Antenna Wind w/ Ice (120)	None				20				
34	Antenna Wind w/ Ice (135)	None				20				
35	Antenna Wind w/ Ice (150)	None				20				
36	Seismic X	ELX				10		29		
37	Seismic Y	ELY				10		29		
38	Maintenance Live Lm (1)	OL1				1				
39	Maintenance Live Lm (2)	OL2				1				
40	Maintenance Live Lm (3)	OL3				1				
41	Maintenance Live Lm (4)	OL4				1				
43	Maintenance Live Lv (1)	OL6					1			
44	Maintenance Live Lv (2)	OL7					1			

**Load Combinations**

	Description	So...	PDe...	S...	BLCFac...	BLCFac...	BLCFac...	BLCFac...	BLCFac...	BLCFac...	BLCFac...	BLCFac...	BLCFac...	BLCFac...	BLCFac...
1	Summary: 1.0D + 1...	Yes	Y		DL	1	20	1							
2	1.4D	Yes	Y		DL	1.4									
3	1.2D + 1.0W(0)	Yes	Y		DL	1.2	4	1	20	1					

OCT 07 2021

## Planning Board Meeting

### Load Combinations (Continued)

[illegible]



OCT 07 2021

## Planning Board Meeting

### **Load Combinations (Continued)**

[illegible]

### Reference Material

OCT 07 2021

Board Meeting

### Envelope Joint Reactions

	Joint		X [lb]	LC	Y [lb]	LC	Z [lb]	LC	MX [lb-ft]	LC	MY [lb-ft]	LC	MZ [lb-ft]	LC
1	N100	max	1002.742	3	1582.879	3	779.519	27	341.501	27	31.614	3	0	162
2		min	-1719.7	11	-2782.909	11	-15.935	4	26.779	4	-216.876	27	0	1
3	N103	max	501.511	4	943.471	4	576.984	21	264.616	20	-23.457	14	0	162
4		min	-757.494	12	-1357.607	12	59.701	13	29.408	13	-159.56	22	0	1
5	N101	max	477.612	4	480.158	4	59.621	29	42.576	82	50.044	82	0	162
6		min	-485.284	12	-487.022	12	22.568	1	-19.625	122	-23.067	122	0	1
7	N102A	max	352.018	18	512.391	18	21.566	26	35.72	115	52.181	115	0	162

Company : Kimley-Horn and Associates, Inc.  
 Designer : AVG  
 Job Number : 011916045  
 Model Name : 307198

June 11, 2021  
 10:57 AM  
 Checked By: MLO

OCT 07 2021

Planning Board Meeting

**Envelope Joint Reactions (Continued)**

Joint		X [lb]	LC	Y [lb]	LC	Z [lb]	LC	MX [lb-ft]	LC	MY [lb-ft]	LC	MZ [lb-ft]	LC
8		min -561.918	10	-817.931	10	6.839	1	-25.623	11	-37.431	11	0	1
9	N98	max 1184.828	19	2076.792	78	1168.592	19	180.601	76	-126.003	11	680.801	80
10		min 254.976	11	-70.634	1...	302.829	11	-263.037	116	-486.894	19	131.773	8
11	N108A	max 603.861	12	5082.518	12	41.63	20	1.64	1	13.254	1	0	162
12		min -458.008	4	-3986.807	4	16.335	1	-1.55	11	-12.531	11	0	1
13	Totals:	max 2475.035	3	1785.572	14	2513.449	30						
14		min -2475.031	11	-1785.564	6	969.37	1						

**Envelope AISC 15th(360-16): LRFD Steel Code Checks**

Member	Shape	Code Check	Loc...	LC	Shear Check	Loc[in]	Dir	LC	phi*	phi*P...	phi*M...	phi*...	Cb	Eqn
1	M5	L3X2X4	.699	9.5	12	.501	.5	y	123	3509...	38880	826.322	248...	1.438 H2-1
2	M25	L3X2X4	.620	9.5	11	.488	18.5	y	123	3509...	38880	826.322	248...	1.432 H2-1
3	M7	L3X2X4	.607	14....	74	.073	14.807	z	75	3653...	38880	826.322	248...	2.184 H2-1
4	M8	PIPE 2.0	.480	11....	117	.279	93.158		123	2520...	32130	1871....	187...	2.025 H1-1b
5	M58C	PIPE 2.0	.475	55....	12	.012	109.951		11	1171...	32130	1871....	187...	1.136 H1-1a
6	M31	PIPE 2.0	.467	14....	123	.275	93.158		124	2520...	32130	1871....	187...	2.693 H1-1b
7	M30	PIPE 2.0	.464	0	123	.113	0		124	3088...	32130	1871....	187...	2.082 H1-1b
8	M49B	PIPE 2.5	.422	37....	12	.286	28.958		12	4587...	50715	3596.25	359...	1.854 H1-1b
9	M28	L3X2X4	.414	14....	12	.073	14.807	z	124	3653...	38880	826.322	248...	2.199 H2-1
10	M32	PIPE 2.0	.409	33....	76	.055	33.54		78	3088...	32130	1871....	187...	2.206 H1-1b
11	M29	L3X2X4	.334	0	7	.055	14.807	z	70	3653...	38880	826.322	248...	2.154 H2-1
12	M54B	PL6" T...	.325	0	27	.110	0	y	11	6656...	72900	569.531	911...	1.283 H1-1b
13	M57	PIPE 2.5	.302	64....	3	.107	30.821		15	3003...	50715	3596.25	359...	1.542 H1-1b
14	M34	PIPE 2.0	.285	0	70	.105	33.54		76	3088...	32130	1871....	187...	2.199 H1-1b
15	M35	PIPE 2.0	.280	0	124	.120	0		127	3088...	32130	1871....	187...	2.267 H1-1b
16	M6	L3X2X4	.257	0	108	.054	14.807	y	123	3653...	38880	826.322	248...	2.143 H2-1
17	M56A	PL6" T...	.249	0	21	.055	4.5	y	10	6656...	72900	569.531	911...	1.191 H1-1b
18	M57C	L2.5x2....	.232	32....	80	.011	0	y	80	1123...	2919...	872.574	158...	1.136 H2-1
19	M56B	PIPE 2.0	.178	67.2	21	.066	28.295		9	1491...	32130	1871....	187...	2.313 H1-1b
20	M50A	HSS3X...	.167	16.5	11	.043	14.068	y	27	9953...	1010...	8556	8556	1.606 H1-1b
21	M58A	PIPE 1...	.161	33....	84	.073	33.54		117	1860...	20250	823.5	823.5	2.27 H1-1b
22	M50	PIPE 2.0	.161	77....	4	.042	155.915		82	5826...	32130	1871....	187...	1.136 H1-1b
23	M58	PIPE 1...	.139	0	124	.084	33.54		130	1860...	20250	823.5	823.5	2.273 H1-1b
24	M51A	HSS3X...	.093	13....	23	.026	16.5	y	12	9953...	1010...	8556	8556	1.38 H1-1b
25	M56	PIPE 2.5	.065	64....	67	.082	48.505		77	3003...	50715	3596.25	359...	3.65 H1-1b
26	M56D	L2.5x2....	.057	14....	115	.026	0	z	124	2348...	2919...	872.574	187...	1.136 H2-1
27	M54	PIPE 2.0	.051	33....	11	.026	61.642		9	1491...	32130	1871....	187...	3.129 H1-1b
28	M44	PIPE 2.0	.031	34....	12	.007	34.358		12	1491...	32130	1871....	187...	2.419 H1-1b
29	M51B	PIPE 2.0	.023	47....	18	.039	47.41		115	2664...	32130	1871....	187...	1.136 H1-1b*



TREET, SUITE 600  
IC 27601  
-677-2000  
-HORN.COM



AMERICAN TOWER

# MOUNT MODIFICATION DRAWINGS



## ACKER

ATC SITE #: 307198  
ATC PROJECT #: 13668656\_C9\_04

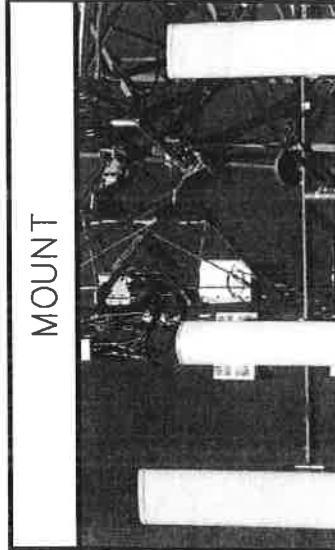
## STRUCTURE INFORMATION

TOWER TYPE: SELF SUPPORT  
MOUNT TYPE: SECTOR FRAME

## SITE ADDRESS

77 LOUDEN ROAD  
GHENT, NY 12075  
COLUMBIA COUNTY  
LATITUDE: N 42.28738056°±  
LONGITUDE: W -73.59192778 °±

Reference Material  
OCT 07 2021  
Planning Board Meeting



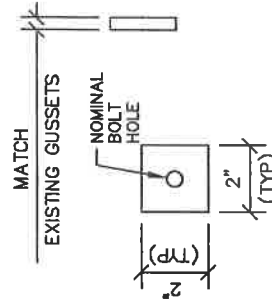
INDEX OF SHEETS		
SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	0
N-1	PROJECT NOTES	0
S-1	MOUNT MODIFICATION SCHEDULE	0
S-2	SAFETY CLIMB CONFIGURATION	0
R-1	SUPPLEMENTAL DETAILS	0
R-2	SUPPLEMENTAL DETAILS	0

THE ENGINEER OF RECORD FOR



# MOUNT MODIFICATION INSPECTION CHECKLIST

INSPECTION DOCUMENT	DESCRIPTION	INSPECTION TESTING REQUIRED?	RESPONSIBILITY
ON-SITE COLD GALVANIZING VERIFICATION	PHOTOGRAPHIC EVIDENCE OF COLD GALVANIZATION TYPE AND APPLICATION IN ALL APPLICABLE LOCATIONS TO BE INCLUDED WITHIN THE MMI REPORT.	YES	GC
GC AS-BUILT DRAWINGS WITH CONSTRUCTION REDLINES	"AS-BUILT" DRAWINGS INDICATING ANY APPROVED CHANGES TO ENGINEERED PLANS TO MMI FOR APPROVAL/REVIEW AND INCLUSION IN MMI REPORT.	YES	GC
PHOTOGRAPHIC	PHOTOGRAPHIC EVIDENCE OF MOUNT MODIFICATION INSPECTION, ON SITE REMEDIATION, AND ITEMS FAILING INSPECTION & REQUIRING A FOLLOW-UP TO BE INCLUDED WITHIN THE MMI REPORT.	YES	GC

SPACER PLATE



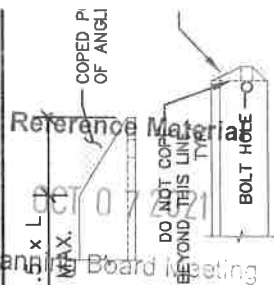
LEG	4	3½	3	½
GAGE	2½	2	1¾	1⅞

## NOMINAL HOLE DIM'S

BOLT #	STANDARD HOLE $\phi$	SHORT SLOT
$\frac{1}{2}" \phi$	$\frac{9}{16}" \phi$	$\frac{9}{16}" \times \frac{1}{16}"$
$\frac{3}{8}" \phi$	$\frac{1}{4}" \phi$	$\frac{1}{16}" \times \frac{7}{8}"$
$\frac{3}{4}" \phi$	$\frac{1}{2}" \phi$	$\frac{1}{16}" \times 1"$
$\frac{7}{8}" \phi$	$\frac{5}{8}" \phi$	$\frac{13}{16}" \times \frac{1}{8}"$
1" $\phi$	$\frac{1}{2}" \phi$	$\frac{1}{16}" \times \frac{5}{8}"$

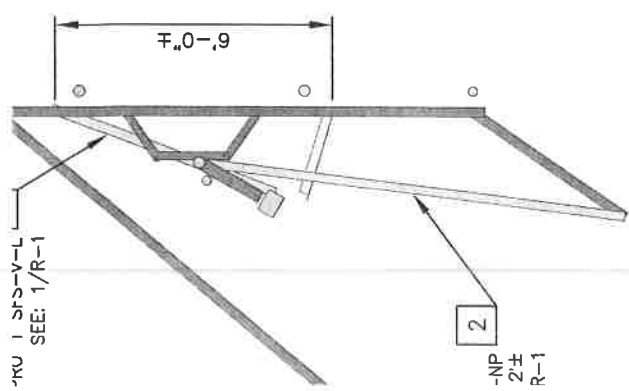
## ALLOWABLE ANGLE (



## BOLT EDGE &amp; SPAC

BOLT #	MIN. EDGE	SPACIN
1/2"	7/8"	1 1/2"
5/8"	1 1/8"	1 7/8"
3/4"	1 1/4"	2 1/4"
7/8"	1 1/2"	2 5/8"
1"	1 3/4"	3"

<div> <div>143±</div> <div>2</div> </div>	<div> <div>143±</div> <div>2</div> </div>	<div> <div>143±</div> <div>2</div> </div>
<div> <div>143±</div> <div>2</div> </div>	<div> <div>143±</div> <div>2</div> </div>	<div> <div>143±</div> <div>2</div> </div>
<div> <div>143±</div> <div>2</div> </div>	<div> <div>143±</div> <div>2</div> </div>	<div> <div>143±</div> <div>2</div> </div>



### DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

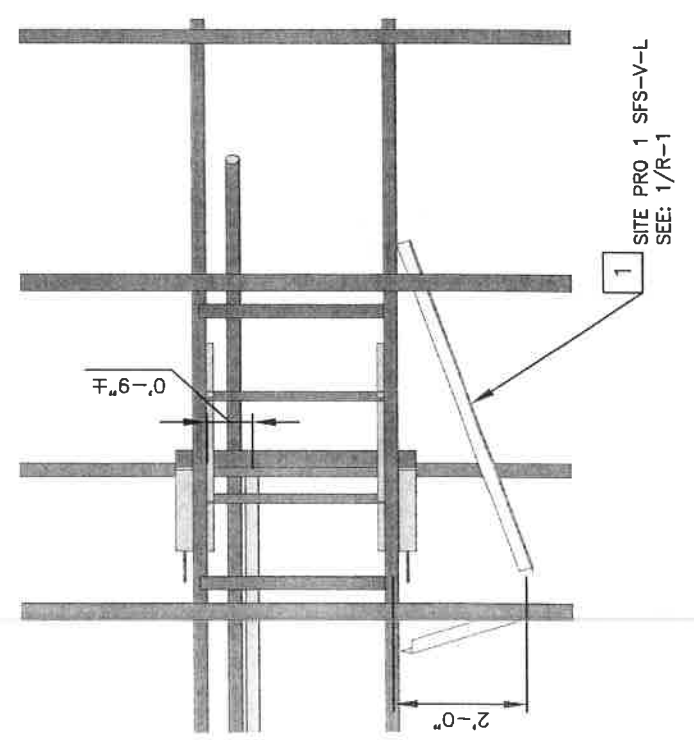
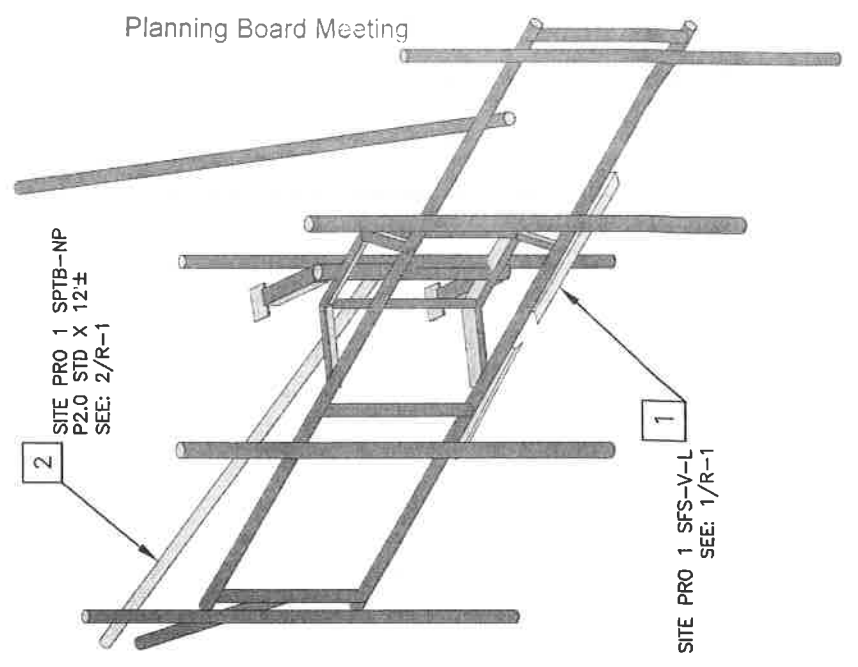
### CONSTRUCTION NOTES

1. SCOPE OF WORK MUST BE COMPLETED AT WIND SPEED MPH.
2. ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE FABRICATION OF STEEL COMMENCEMENT OF WORK. FIELD CUT MEMBERS AS REQUIRED.
3. INSTALL MODIFICATIONS PER MANUFACTURERS INSTRUCTIONS.

### Reference Material

OCT 07 2021

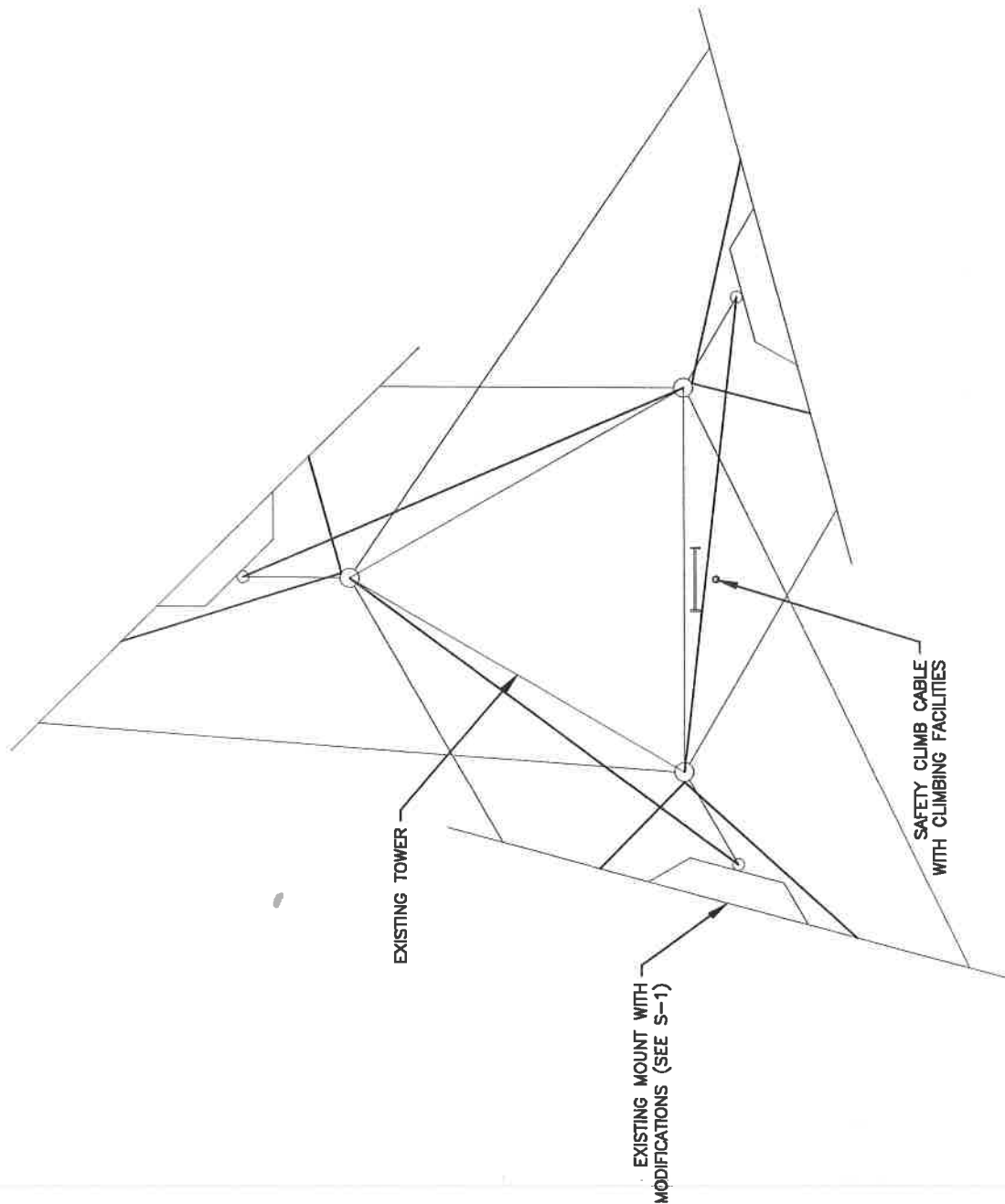
Planning Board Meeting





OCT 07 2021

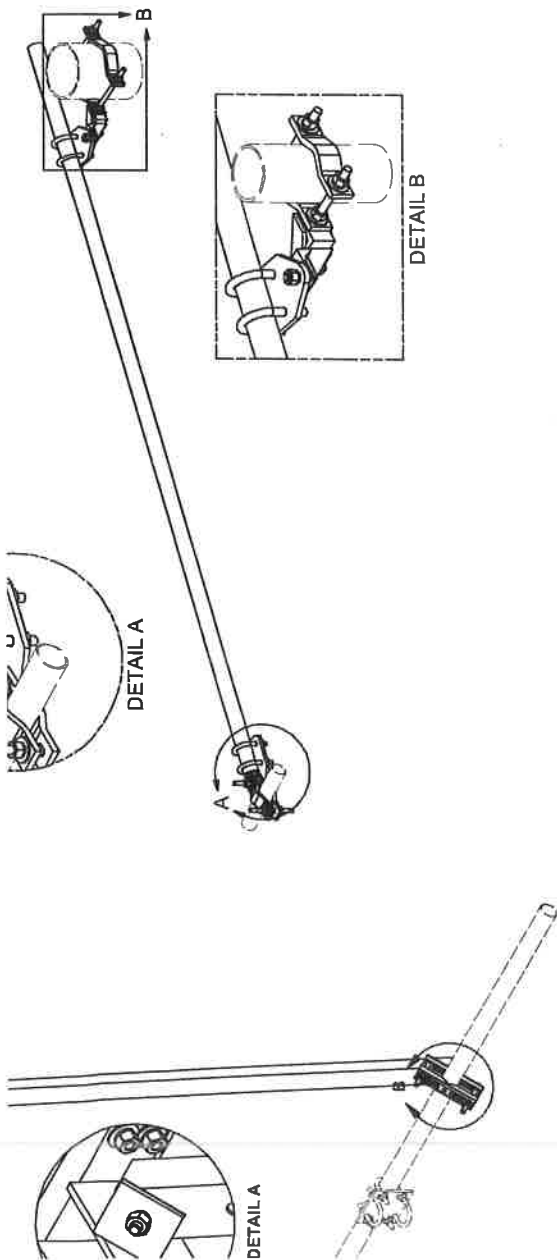
Planning Board Meeting



Reference Material

OCT 07 2021

Planning Board Meeting



2 SITE PRO 1 SPTB-NP

SCALE: N.T.S.

R-1



## Option 1 - Modify

Parameters		Dates and Designers	
Acker		Mount Analysis Date	5/17/2021
307198		Falling Analysis %	127%
Ghent		Controlling Member	Offset Frame
NY		Performed By	Kimley-Horn
Columbia			
38656_C8_01		Mount Mod. Date	6/15/2021
38656_C9_04		Post Mod Analysis %	70%
SI/TIA-222-H		Controlling Member	Offset Frame
2018 IBC		Performed By	Kimley-Horn
2020 NYSUC			
Self-Support		Usage Limit %	1.05
Factor Frames		Software	RISA3D

Verizon Wireless	
1	
3	

assumptions?

N/A	
-----	--

Modification Summary		
Item Kits (Typical for all sectors)	Quantity	Total Cost
	1	\$ 6,000.00
	1	\$ 6,000.00

Total Estimate	\$	12,000.00
----------------	----	-----------

## Option 2 - Replace

Tower Info	
Tower Name	Acker
Tower Number	307198
City	Ghent
State	NY
County	Columbia

Jurisdictional Codes	
Current TIA Code	ANSI/TIA-222-H
IBC	2018 IBC
Local	2020 NYSUC

Project Information	
Carrier	Verizon Wireless
Tower Type	Self-Support
Post Mod Analysis %	70%
New Mount FW [in]	150
# of Sectors	3

Recommended Mount Replacement	
Site	Pro 1 VFA12-HD

\*or approved equivalent

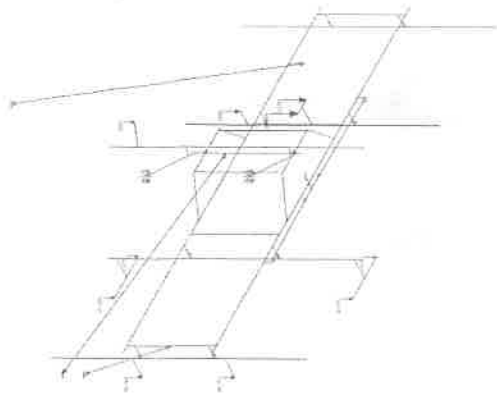
Estimated Replacement Cost	
\$	35,000.00

Reference Material

OCT 07 2021

Planning Board Meeting



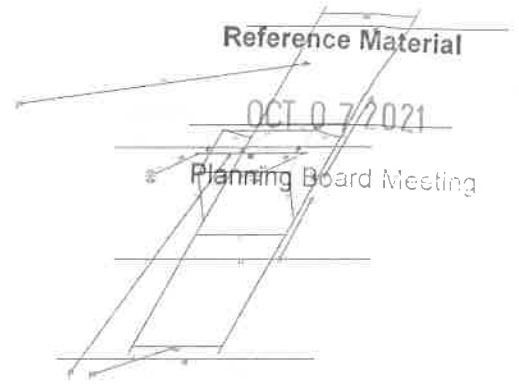


Sec - 8  
June 11, 2021 at 10:55 AM  
307198  
011916045  
Kiley-Horn and Assoc.  
AVC

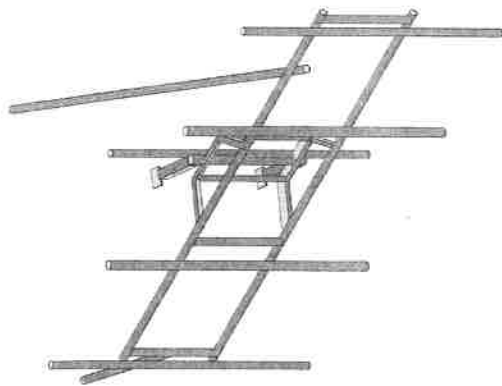
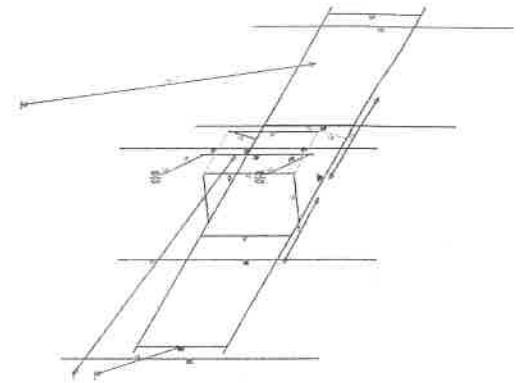
Reference Material

OCT 07/2021

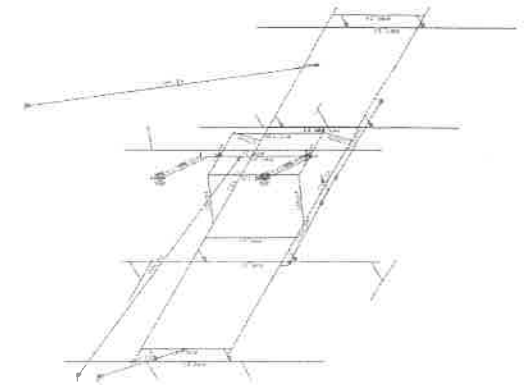
Planning Board Meeting



Sec - 7  
June 11, 2021 at 11:00 AM  
307198  
011916045  
Kiley-Horn and Assoc.  
AVC



Sec - 6  
June 11, 2021 at 11:00 AM  
307198  
011916045  
Kiley-Horn and Assoc.  
AVC



11:2021 at 10:55 AM  
307198  
011916045  
Kiley-Horn and Assoc.  
AVC

**From:** David McEvoy  
**Sent:** Thursday, September 9, 2021 11:55 AM  
**To:** scott.j.dreiling@verizon.com  
**Cc:** Edward Vaughan; Kenneth Ravel; Michael Oser; Robert Newman; Rachel Hendricks; Vincent Lomonaco  
**Subject:** RE: Lic:APA0100010040; Lic App:100776-1001 ; Agr:2175; Cmpy: VERIZON - X O COMMUNICATIONS, INC (2175) - Field survey date notification to Licensee

OCT 07 2021  
Planning Board Meeting

Hey Scott,

Following-up here, I'm showing this is the last update we had on the Vz pole app.

Have you received anything new since March from them?

I see you're on the call and looked like you had trouble getting audio.

Anything you'd like us to add here, are you good with the July time-frame for the temp attachment (pending approved permits from PPL and Vz)?

I don't believe we were asked to submit the 4181 yet for the temp attach?

Thank you Sir!

**Dave McEvoy**  
*Project Manager*

**NETWORK BUILDING + CONSULTING**

1777 Sentry Parkway W | VEVA 17, Suite 400 | Blue Bell, PA | 19422  
M 610.241.6788



**From:** scott.j.dreiling@verizon.com <scott.j.dreiling@verizon.com>  
**Sent:** Tuesday, March 16, 2021 1:07 PM  
**To:** Edward Vaughan <evaughan@nbcllc.com>  
**Cc:** David McEvoy <dmcevoy@nbcllc.com>  
**Subject:** FW: Lic:APA0100010040; Lic App:100776-1001 ; Agr:2175; Cmpy: VERIZON - X O COMMUNICATIONS, INC (2175) - Field survey date notification to Licensee

FYI

I will let you know if the Verizon rep for the survey will want to meet.

Thanks

**Scott Dreiling**

Engr IV Spec-Ntwk Eng & Ops  
630 Clark Ave, King of Prussia, PA 19406  
T: 610.290.4003 C: 610.842.4323 F: 610.288.6700  
[scott.j.dreiling@one.verizon.com](mailto:scott.j.dreiling@one.verizon.com)  
XO/Verizon Confidential and Proprietary



**From:** [DGCAVUTO@CTDI.COM](mailto:DGCAVUTO@CTDI.COM) [<mailto:DGCAVUTO@CTDI.COM>]

**Sent:** Tuesday, March 16, 2021 11:35 AM

**To:** Dreiling, Scott J <[scott.j.dreiling@one.verizon.com](mailto:scott.j.dreiling@one.verizon.com)>

**Cc:** Clark, Thomas M <[thomas.clark@one.verizon.com](mailto:thomas.clark@one.verizon.com)>

**Subject:** Lic:APA0100010040; Lic App:100776-1001 ; Agr:2175; Cmpy: VERIZON - X O COMMUNICATIONS, INC (2175) - Field survey date notification to Licensee



1026 Hay Street, Floor 2  
Wilkinsburg, PA 15221  
412-344-3901  
[poleconduitadmin@verizon.com](mailto:poleconduitadmin@verizon.com)

DATE: March 16, 2021

VERIZON - X O COMMUNICATIONS, INC (2175)  
6929 N LAKEWOOD AVENUE  
TULSA,OK,19406

RE: Pole Application # APA0100010040

Dear SCOTT DREILING

The purpose of this letter is to inform you that we have received your payment in the amount of \$ 316.00, for the field survey of poles associated with the Application # referenced above.

[X] The field survey has been scheduled for March 18, 2021. A Verizon representative will contact you directly with logistics for your participation.

[ ] The field survey originally scheduled for March 18, 2021 has been rescheduled for null A Verizon representative will contact you directly with logistics for your participation.

Reference Material  
OCT 07 2021  
Planning Board Meeting

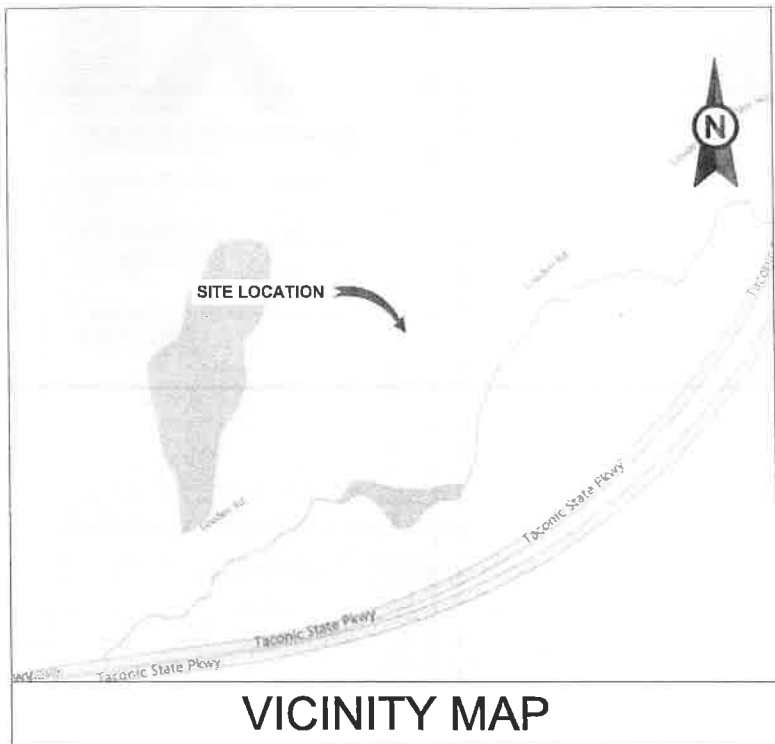
Please call 412-344-3901 to speak with a Verizon representative should you require assistance with the application process or have questions pertaining to this letter.

Sincerely,

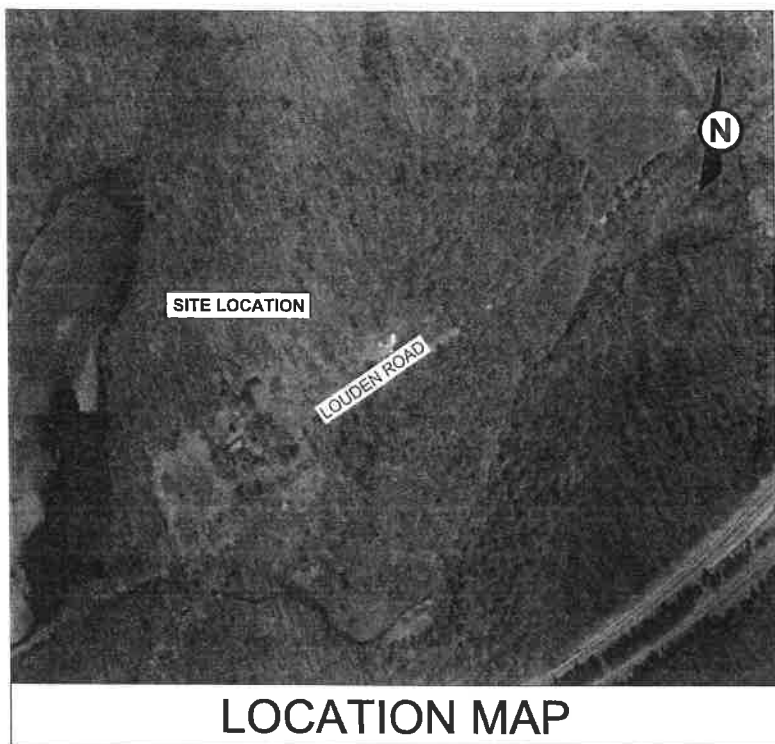
Dominic Cavuto  
CONTRACTOR  
Verizon License Administration Group

Reference Material  
OCT 07 2021  
Planning Board Meeting


Pole Temp 8eBAU Field Survey Date Notification to Licensee  
GLH revised 05-23-1908-15-12 FOUO



ATC SITE NAME: ACKER  
ATC SITE NUMBER: 307198  
VERIZON SITE NAME: GHENT  
VERIZON SITE NUMBER: 180544  
SITE ADDRESS: 77 LOUDEN ROAD  
GHENT, NY 12075



## VERIZON ANTENNA AMENDMENT DRAWINGS

COMPLIANCE CODE	PROJECT SUMMARY	PROJECT DESCRIPTION	SHEET INDEX				
ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNMENT AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.  1. 2020 INTERNATIONAL BUILDING CODE (IBC) 2. 2017 NATIONAL ELECTRIC CODE (NEC) 3. LOCAL BUILDING CODE 4. CITY/COUNTY ORDINANCES	<u>SITE ADDRESS:</u> 77 LOUDEN ROAD GHENT, NY 12075 COUNTY: COLUMBIA  <u>GEOGRAPHIC COORDINATES:</u> LATITUDE: 42.28738056 LONGITUDE: -73.59192778 GROUND ELEVATION: 851' AMSL	THE PROPOSED PROJECT INCLUDES MODIFYING GROUND BASED AND TOWER MOUNTED EQUIPMENT AS INDICATED PER BELOW:  <u>TOWER WORK:</u> REMOVE (12) ANTENNA(s), (6) RRH(s), (1) OVP(s), (12) COAX CABLE(s) AND (1) HYBRID CABLE(s)  INSTALL (9) ANTENNA(s), (6) RRH(s), (3) COMBINER(s), (1) OVP(s), (1) HYBRID CABLE(s), (3) DUAL MOUNT ANTENNA BRACKETS AND MOUNT MODIFICATIONS  EXISTING (6) COAX CABLE(s) AND (1) EXISTING HYBRID CABLE(s) TO REMAIN  <u>GROUND WORK:</u> INSTALL (2) LCC4 CARDS IN SHELTER	SHEET NO:	DESCRIPTION:	REV:	DATE:	BY:
	<u>PROJECT TEAM</u>  <u>TOWER OWNER:</u> AMERICAN TOWER 10 PRESIDENTIAL WAY WOBBURN, MA 01801  <u>ENGINEER:</u> COLLIERS ENGINEERING & DESIGN 18 COMPUTER DR E, STE 203 ALBANY, NY 12205  PROJECT #: 21904093A  <u>PROPERTY OWNER:</u> ESTATE OF HILDEGARD OLEYNEK LOUDEN 77 LOUDEN ROAD GHENT, NY 12075	<u>PROJECT NOTES</u>  1. THE FACILITY IS UNMANNED. 2. A TECHNICIAN WILL VISIT THE SITE APPROXIMATELY ONCE A MONTH FOR ROUTINE INSPECTION AND MAINTENANCE. 3. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT LAND DISTURBANCE OR EFFECT OF STORM WATER DRAINAGE. 4. NO SANITARY SEWER, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED. 5. HANDICAP ACCESS IS NOT REQUIRED. 6. THE PROJECT DEPICTED IN THESE PLANS QUALIFIES AS AN ELIGIBLE FACILITIES REQUEST ENTITLED TO EXPEDITED REVIEW UNDER 47 U.S.C. § 1455(A) AS A MODIFICATION OF AN EXISTING WIRELESS TOWER THAT INVOLVES THE COLLOCATION, REMOVAL, AND/OR REPLACEMENT OF TRANSMISSION EQUIPMENT THAT IS NOT A SUBSTANTIAL CHANGE UNDER CFR § 1.61000 (B)(7).	G-001	TITLE SHEET	0	07/23/21	JV
			G-002	GENERAL NOTES	0	07/23/21	JV
	<u>UTILITY COMPANIES</u>  POWER COMPANY: NEW YORK STATE ELECTRIC AND GAS PHONE: (800) 572-1121  TELEPHONE COMPANY: TACONIC TELEPHONE PHONE: (800) 392-5200   Know what's below. Call before you dig.	<u>PROJECT LOCATION DIRECTIONS</u>  HEAD NORTHEAST ON EAGLE ST TOWARD WASHINGTON AVE 308 FT 2 TURN RIGHT AT PINE ST 0.2 MI 3 TURN LEFT AT N PEARL ST RT 320.2 MI 4 TURN RIGHT AT ORANGE ST (SIGNS FOR RENSSELAER/TROYUS-9 S/NEW YORK THRUWAY/I-787) 433 FT 5 MERGE ONTO I-787 N VIA THE RAMP TO TROY 0.8 MI 6 TAKE EXIT 5 TO MERGE ONTO I-90 E TOWARD BOSTON PARTIAL TOLL ROAD 14.3 MI 14 MINS 7 TAKE THE EXIT TOWARD I-87/NY CITY 0.6 MI 11 MINS 8 MERGE ONTO I-90 E NEW YORK STATE THRUWAY E TOLL ROAD 8.3 MI 8 MINS 9 TAKE EXIT B2 FOR TACONIC STATE PKWY/TACONIC PKWY TOWARD RT-2950.3 MI 10 MERGE ONTO TACONIC STATE PKWY S PARTIAL TOLL ROAD 9.6 MI 11 MINS 11 TURN RIGHT AT RIGOR HILL RD 0.1 MI 12 TURN LEFT AT LOUDEN RD 0.4 MI	C-101	DETAILED SITE PLAN	0	07/23/21	JV
			C-201	TOWER ELEVATION	0	07/23/21	JV
			C-401	ANTENNA INFORMATION & SCHEDULE	0	07/23/21	JV
			C-501	CONSTRUCTION DETAILS	0	07/23/21	JV
			E-501	GROUNDING DETAILS	0	07/23/21	JV
			R-601	SUPPLEMENTAL			
			R-602	SUPPLEMENTAL			
			R-603	SUPPLEMENTAL			
			R-604	SUPPLEMENTAL			
			R-605	SUPPLEMENTAL			
			R-606	SUPPLEMENTAL			

### Reference Material

OCT 07 2021  
AMERICAN TOWER®

### Planning Board Meeting

Colliers Engineering & Design

www.colliersengineering.com

Doing Business as MASER

ALBANY

18 Computer Drive East,

Suite 203

Albany, NY 12205

Phone: 518.459.3252

COLLIERS ENGINEERING & DESIGN CT, P.C.  
DOING BUSINESS AS MASER CONSULTING  
ENGINEERING & LAND SURVEYING  
Copyright © 2021, Colliers Engineering & Design All Rights Reserved. This drawing and all the information contained herein is submitted for use only by the party for whom the services were rendered and is not to be used for any other purpose without the express written consent of Colliers Engineering & Design.

REV.	DESCRIPTION	BY	DATE
A	PRELIM	JV	07/07/21
D	FOR CONSTRUCTION	AMN	07/23/21

ATC SITE NUMBER:  
307198

ATC SITE NAME:  
ACKER

VERIZON SITE NAME:  
GHENT

SITE ADDRESS:  
77 LOUDEN ROAD  
GHENT, NY 12075

SEAL:



verizon

DATE DRAWN:	07/07/21
ATC JOB NO:	13668656_D1
CUSTOMER ID:	GHENT
CUSTOMER #:	180544

### TITLE SHEET

SHEET NUMBER:	REVISION:
G-001	0

GENERAL CONSTRUCTION NOTES:

1. OWNER FURNISHED MATERIALS, VERIZON "THE COMPANY" WILL PROVIDE AND THE CONTRACTOR WILL INSTALL
- Reference Material
- A. BTS EQUIPMENT FRAME (PLATFORM) AND ICEBRIDGE SHELTER (GROUND BUILD/CO-LOCATE ONLY)

B. AG/TELCO INTERFACE BOX (PPO)

C. ICE BRIDGE (CABLE TRAY WITH COVER) (GROUND BUILD/CO-LOCATE ONLY, GC TO FURNISH AND INSTALL FOR ROOFTOP INSTALLATION)

D. TOWERS, MONOPOLES

E. TOWER LIGHTING

F. LIQUID PROPANE TANK

G. ANTENNA STANDARD BRACKETS, FRAMES AND PIPES FOR MOUNTING

H. ANTENNAS (INSTALLED BY OTHERS)

I. TRANSMISSION LINE

J. TRANSMISSION LINE JUMPERS

K. TRANSMISSION LINE CONNECTORS WITH WEATHERPROOFING KITS

L. TRANSMISSION LINE GROUND KITS

M. HANGERS

N. HOISTING GRIPS

O. BTS EQUIPMENT
2. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL OTHER MATERIALS FOR THE COMPLETE INSTALLATION OF THE SITE INCLUDING, BUT NOT LIMITED TO, SUCH MATERIALS AS FENCING, STRUCTURAL STEEL SUPPORTING SUB-FRAME FOR PLATFORM, ROOFING LABOR AND MATERIALS, GROUNDING RINGS, GROUNDING WIRES, COPPER-CLAD OR XIT CHEMICAL GROUND ROD(S), BUSS BARS, TRANSFORMERS AND DISCONNECT SWITCHES WHERE APPLICABLE, TEMPORARY ELECTRICAL POWER, CONDUIT, LANDSCAPING COMPOUND STONE, CRANES, CORE DRILLING, SLEEPERS AND RUBBER MATTING, REBAR, CONCRETE CAISSONS, PADS AND/OR AUGER MOUNTS, MISCELLANEOUS, CABLE TRAYS, NON-STANDARD ANTENNA FRAMES AND ALL OTHER MATERIAL AND LABOR REQUIRED TO COMPLETE THE JOB ACCORDING TO THE DRAWINGS AND SPECIFICATIONS. IT IS THE POSITION OF VERIZON TO APPLY FOR PERMITTING AND CONTRACTOR RESPONSIBLE FOR PICKUP AND PAYMENT OF REQUIRED PERMITS.
3. ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, INCLUDING ANSI/EIA/TIA-222, AND COMPLY WITH ATC CONSTRUCTION SPECIFICATIONS.
4. CONTRACTOR SHALL CONTACT LOCAL 811 FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
6. ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
7. DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
8. DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
9. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
11. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
12. INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE VERIZON REP PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE VERIZON REP PRIOR TO PROCEEDING.
13. EACH CONTRACTOR SHALL COOPERATE WITH THE VERIZON REP, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
14. CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE VERIZON CONSTRUCTION MANAGER.
15. ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
16. WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR SHALL NOTIFY THE VERIZON REP AND ENGINEER OF RECORD IMMEDIATELY.
17. CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A COMPLETE AND CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
18. CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
19. CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH AMERICAN TOWER CORPORATION (ATC) AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
20. CONTRACTOR SHALL FURNISH VERIZON AND AMERICAN TOWER CORPORATION (ATC) WITH A PDF MARKED UP AS-BUILT SET OF DRAWINGS UPON COMPLETION OF WORK.
21. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH VERIZON REP TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED. ALL ITEMS NOT PROVIDED SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED.

22. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH VERIZON REP TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY CONTRACTOR. ALL REQUIRED PERMITS NOT OBTAINED BY VERIZON MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
23. CONTRACTOR SHALL INSTALL ALL SITE SIGNAGE IN ACCORDANCE WITH VERIZON SPECIFICATIONS AND REQUIREMENTS.
24. CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO VERIZON FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
25. ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO VERIZON SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
26. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
27. CONTRACTOR SHALL NOTIFY VERIZON REP A MINIMUM OF 48 HOURS IN ADVANCE OF POURING CONCRETE OR BACKFILLING ANY UNDERGROUND UTILITIES, FOUNDATIONS OR SEALING ANY WALL, FLOOR OR ROOF PENETRATIONS FOR ENGINEERING REVIEW AND APPROVAL.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL APPLICABLE OSHA STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY DEVICES INCLUDING PPE AND PPM AND CONSTRUCTION DEVICES SUCH AS WELDING AND FIRE PREVENTION, TEMPORARY SHORING, SCAFFOLDING, TRENCH BOXES/SLOPING, BARRIERS, ETC.
29. THE CONTRACTOR SHALL PROTECT AT HIS OWN EXPENSE, ALL EXISTING FACILITIES AND SUCH OF HIS NEW WORK LIABLE TO INJURY DURING THE CONSTRUCTION PERIOD. ANY DAMAGE CAUSED BY NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS REPRESENTATIVES, OR BY THE ELEMENTS DUE TO NEGLIGENCE ON THE PART OF THIS CONTRACTOR OR HIS REPRESENTATIVES, EITHER TO THE EXISTING WORK, OR TO HIS WORK OR THE WORK OF ANY OTHER CONTRACTOR, SHALL BE REPAIRED AT HIS EXPENSE TO THE OWNER'S SATISFACTION.
30. ALL WORK SHALL BE INSTALLED IN A FIRST CLASS, NEAT AND WORKMANLIKE MANNER BY MECHANICS SKILLED IN THE TRADE INVOLVED. THE QUALITY OF WORKMANSHIP SHALL BE SUBJECT TO THE APPROVAL OF THE VERIZON REP. ANY WORK FOUND BY THE VERIZON REP TO BE OF INFERIOR QUALITY AND/OR WORKMANSHIP SHALL BE REPLACED AND/OR REWORKED AT CONTRACTOR EXPENSE UNTIL APPROVAL IS OBTAINED.
31. IN ORDER TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE, ALL TYPES OF MATERIALS LISTED HEREINAFTER BY MANUFACTURER'S NAMES AND/OR MANUFACTURER'S CATALOG NUMBER SHALL BE PROVIDED BY THESE MANUFACTURERS AS SPECIFIED.
32. VERIZON FURNISHED EQUIPMENT SHALL BE PICKED-UP AT THE VERIZON WAREHOUSE, NO LATER THAN 48-HR AFTER BEING NOTIFIED INSURED, STORED, UNCRATE, PROTECTED AND INSTALLED BY THE CONTRACTOR WITH ALL APPURTENANCES REQUIRED TO PLACE THE EQUIPMENT IN OPERATION, READY FOR USE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EQUIPMENT AFTER PICKING IT UP.
33. VERIZON OR HIS ARCHITECT/ENGINEER RESERVES THE RIGHT TO REJECT ANY EQUIPMENT OR MATERIALS WHICH, IN HIS OWN OPINION ARE NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, EITHER BEFORE OR AFTER INSTALLATION AND THE EQUIPMENT SHALL BE REPLACED WITH EQUIPMENT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE CONTRACTOR AT NO COST TO VERIZON OR THEIR ARCHITECT/ENGINEER.

SPECIAL CONSTRUCTION

ANTENNA INSTALLATION NOTES:

1. WORK INCLUDED:
- A. ANTENNA AND COAXIAL CABLES ARE FURNISHED BY VERIZON UNDER A SEPARATE CONTRACT. THE CONTRACTOR SHALL ASSIST ANTENNA INSTALLATION CONTRACTOR IN TERMS OF COORDINATION AND SITE ACCESS. ERECTION SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PERSONNEL AND

B. INSTALL ANTENNA AS INDICATE ON DRAWINGS AND VERIZON SPECIFICATIONS.

C. INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED ON DRAWINGS

D. INSTALL FURNISHED GALVANIZED STEEL OR ALUMINUM WAVEGUIDE.

E. CONTRACTOR SHALL PROVIDE FOUR (4) SETS OF SWEEP TESTS USING ANRITZU-PACKARD 8713B RF SCALAR NETWORK ANALYZER. SUBMIT FREQUENCY DOMAIN REFLECTOMETER(FDR) TESTS RESULTS TO THE PROJECT MANAGER. SWEEP TESTS SHALL BE AS PER ATTACHED RFS "MINIMUM FIELD TESTING RECOMMENDED FOR ANTENNA AND HELIAX COAXIAL CABLE SYSTEMS" DATED 10/5/03. TESTING SHALL BE PERFORMED BY AN INDEPENDENT TESTING SERVICE AND BE BOUND AND SUBMITTED WITHIN ONE WEEK OF WORK COMPLETION.

F. INSTALL COAXIAL CABLES AND TERMINATING BETWEEN ANTENNAS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. WEATHERPROOF ALL CONNECTIONS BETWEEN THE ANTENNA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS. TERMINATE ALL COAXIAL CABLE THREE (3) FEET IN EXCESS OF ENTRY PORT LOCATION UNLESS OTHERWISE STATED.

G. ANTENNA AND COAXIAL CABLE GROUNDING:
2. ALL EXTERIOR #6 GREED GROUND WIRE "DAISY CHAIN" CONNECTIONS ARE TO BE WEATHER SEALED WITH RFS CONNECTORS/SPICE WEATHERPROOFING KIT #221213 OR EQUAL.
3. ALL COAXIAL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COAXIAL CABLE (NOT WITHIN BENDS)

ALL DISCREPANCIES FROM WHAT IS SHOWN ON THESE CONSTRUCTION DRAWINGS SHALL BE COMMUNICATED TO ATC ENGINEERING IMMEDIATELY FOR CORRECTION OR RE-DESIGN. FAILURE TO COMMUNICATE DIRECTLY WITH ATC ENGINEERING OR ANY CHANGES FROM THE DESIGN CONDUCTED WITHOUT PRIOR APPROVAL FROM ATC ENGINEERING SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.



AMERICAN TOWER®



Engineering & Design

www.colliersengineering.com

Doing Business as



ALBANY

18 Computer Drive East,

Suite 203

Albany, NY 12205

Phone: 518.459.3252

COLLIERS ENGINEERING & DESIGN CT, P.C.

DOING BUSINESS AS MASER CONSULTING

ENGINEERING & LAND SURVEYING

Copyright © 2011, Colliers Engineering & Design All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were

rendered or to whom it is certified. This drawing may not be copied, re-used, stored, or reproduced or used for any other purpose without the express written consent of Colliers Engineering & Design.

REV.	DESCRIPTION	BY	DATE
A	PRELIM	JV	07/07/21
0	FOR CONSTRUCTION	AMN	07/23/21

ATC SITE NUMBER:

307198

ATC SITE NAME:

ACKER

VERIZON SITE NAME:

GHENT

SITE ADDRESS:

77 LOUDEN ROAD

GHENT, NY 12075

SEAL:



DATE DRAWN:	07/07/21
ATC JOB NO:	13668656_D1
CUSTOMER ID:	GHENT
CUSTOMER #:	180544

GENERAL NOTES

SHEET NUMBER:

G-002

REVISION:

0

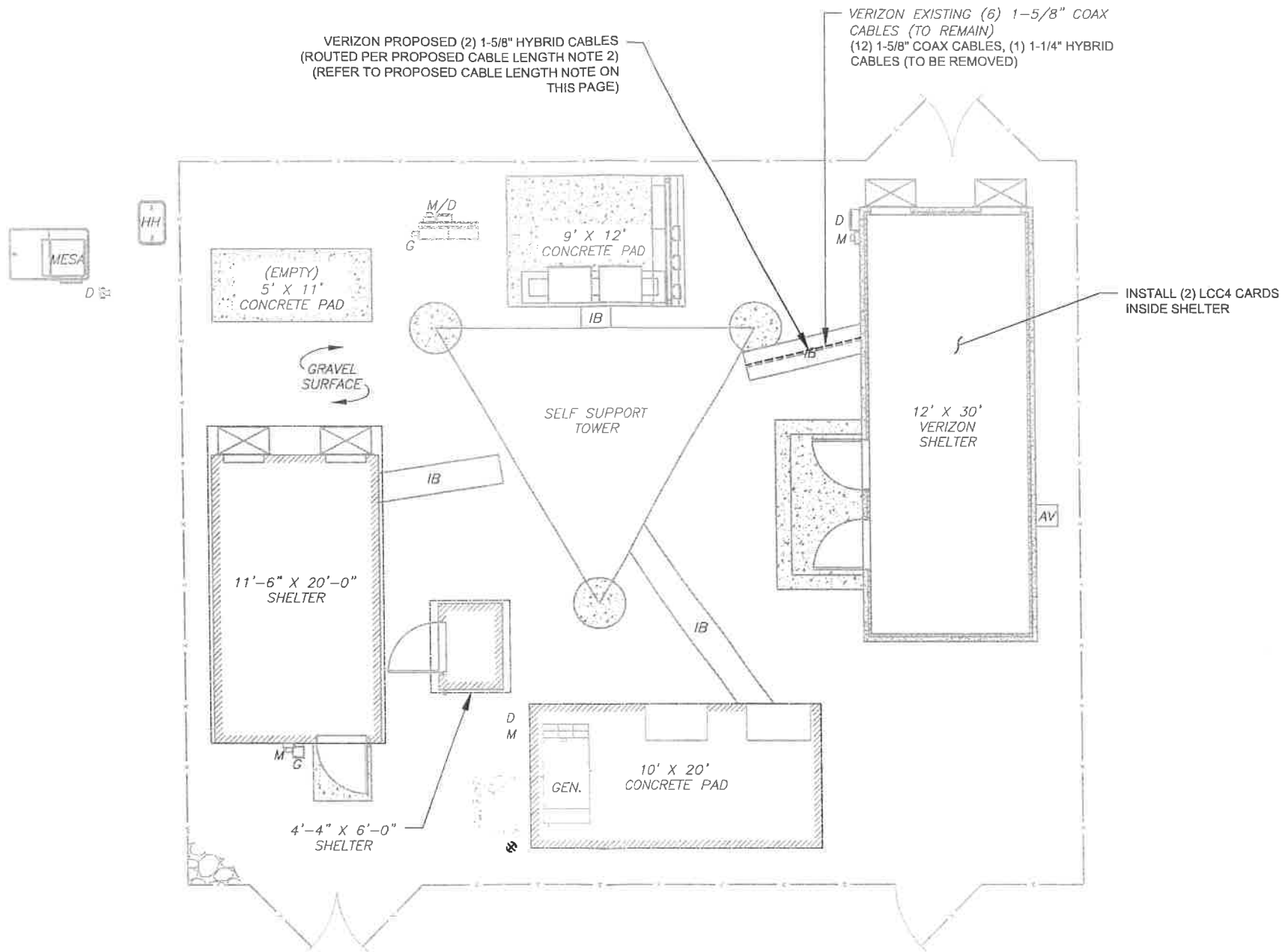


SITE PLAN NOTES:

- THIS SITE PLAN REPRESENTS THE BEST PRESENT KNOWLEDGE AVAILABLE TO THE ENGINEER AT THE TIME OF THIS DESIGN. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION AND VERIFY ALL EXISTING CONDITIONS RELATED TO THE SCOPE OF WORK FOR THIS PROJECT.
- ICE BRIDGE, CABLE LADDER, COAX PORT, AND COAX CABLE ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM THE EXACT LOCATION OF ALL PROPOSED AND EXISTING EQUIPMENT AND STRUCTURES DEPICTED ON THIS PLAN. BEFORE UTILIZING EXISTING CABLE SUPPORTS, COAX PORTS, INSTALLING NEW PORTS OR ANY OTHER EQUIPMENT, CONTRACTOR SHALL VERIFY ALL ASPECTS OF THE COMPONENTS MEET THE ATC SPECIFICATIONS.
- THIS PROJECT INCLUDES NO INSTALL OR MODIFICATION AT GRADE.

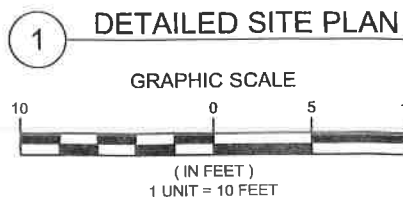
LEGEND

⊗	GROUNDING TEST WELL
ATS	AUTOMATIC TRANSFER SWITCH
B	BOLLARD
CSC	CELL SITE CABINET
D	DISCONNECT
E	ELECTRICAL
F	FIBER
GEN	GENERATOR
G	GENERATOR RECEPTACAL
HH, V	HAND HOLE, VAULT
IB	ICE BRIDGE
K	KENTROX BOX
LC	LIGHTING CONTROL
M	METER
PB	PULL BOX
PP	POWER POLE
T	TELCO
TRN	TRANSFORMER
—	CHAINLINK FENCE



PROPOSED CABLE LENGTH:

- ESTIMATED LENGTH OF PROPOSED CABLE IS 175'. ESTIMATED LENGTH OF CABLE WAS PROVIDED BY CUSTOMER OR CALCULATED BY ADDING THE RAD CENTER AND THE DISTANCE FROM THE SHELTER ENTRY PLATE TO THE TOWER (ALONG THE ICE BRIDGE) AND A SAFETY FACTOR MEASUREMENT OF 15% (OF THE TWO PREVIOUS VALUES), CDS DEFER TO GREATEST CABLE LENGTH.
- ROUTE PROPOSED CABLES ALONG SAME PATH AS EXISTING CABLES AND IN ACCORDANCE WITH STRUCTURAL ANALYSIS. WHERE POSSIBLE UTILIZE EXISTING CABLE SUPPORT STRUCTURES AS PROVIDED FOR CARRIER TO ADEQUATELY SECURE CABLES, USING EITHER APPROPRIATELY SIZED STAINLESS STEEL SNAP-INS OR MOUNTING HARDWARE AND BRACKETS AS SPECIFIED BY CABLE MANUFACTURER. OTHERWISE, ATTACH CABLES TO HORIZONTAL OR DIAGONAL TOWER MEMBERS USING PROPOSED STAINLESS STEEL ADAPTERS (DO NOT ATTACH TO TOWER LEG).



Reference Material



Colliers Engineering & Design

www.colliersengineering.com  
Doing Business as MASER  
ALBANY  
18 Computer Drive East,  
Suite 203  
Albany, NY 12205  
Phone: 518.459.3252  
COLLIERS ENGINEERING & DESIGN, P.C.  
DOING BUSINESS AS MASER CONSULTING  
ENGINEERING & LAND SURVEYING  
Copyright © 2021 Colliers Engineering & Design. All Rights Reserved. This drawing and all the information contained herein is authorized for use only by the party for whom the services were contracted or to whom it is loaned. This drawing may not be copied, reprinted, distributed, sold, or used for any other purpose without the express written consent of Colliers Engineering & Design.

REV.	DESCRIPTION	BY	DATE
A	PRELIM	JV	07/07/21
0	FOR CONSTRUCTION	AMN	07/23/21

ATC SITE NUMBER:  
307198

ATC SITE NAME:  
ACKER

VERIZON SITE NAME:  
GHENT

SITE ADDRESS:  
77 LOUDEN ROAD  
GHENT, NY 12075

SEAL:



verizon

DATE DRAWN:	07/07/21
ATC JOB NO:	13668656_D1
CUSTOMER ID:	GHENT
CUSTOMER #:	180544

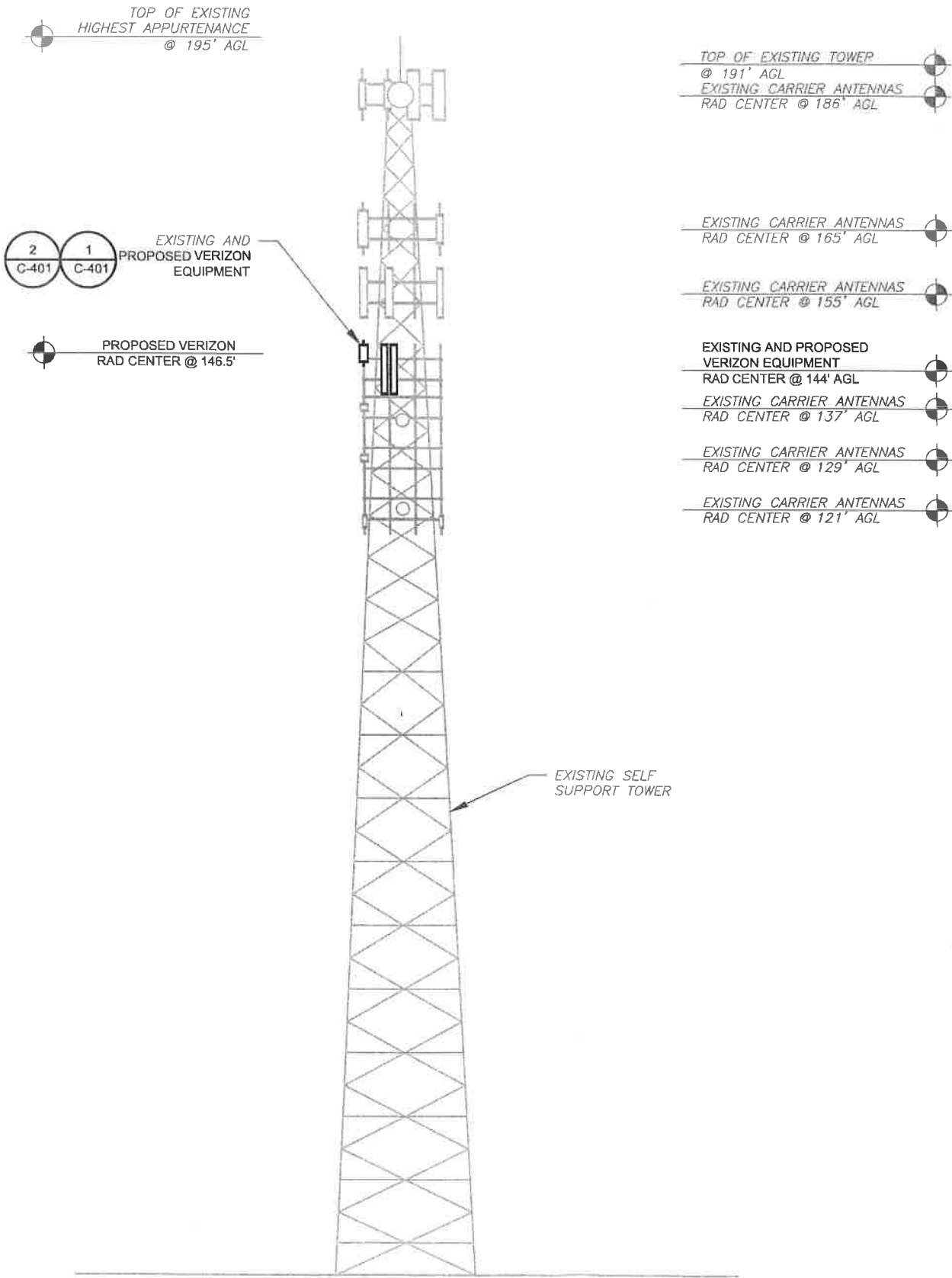
DETAILED SITE PLAN

SHEET NUMBER:	REVISION:
C-101	0

Reference Material

OCT 07 2021

Planning Board Meeting



PER MOUNT ANALYSIS COMPLETED BY KIMLEY HORN, DATED 6/15/21, THE EXISTING MOUNT MUST BE MODIFIED TO ADEQUATELY SUPPORT THE PROPOSED LOADING. THE MOUNT MODIFICATION PROPOSED IN THE MOUNT ANALYSIS, INCLUDED AT THE END OF THIS PLAN SET, MUST BE INSTALLED PRIOR TO THE INSTALLATION OF THE PROPOSED ANTENNAS AND OTHER EQUIPMENT.

- TOWER NOTE:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM WITH THE PROJECT MANAGER THAT THEY HAVE THE MOST RECENT VERSION OF THE STRUCTURAL ANALYSIS BEFORE COMMENCING WORK. EXISTING AND PROPOSED TOWER APPURTENANCES, MOUNTS, AND ANTENNAS ARE SHOWN BASED ON THE STRUCTURAL ANALYSIS.
  - WHERE APPLICABLE, ALL NEW ANTENNAS, EQUIPMENT, MOUNTS, CABLING, ETC. SHALL BE PAINTED/SOCKED TO MATCH EXISTING EQUIPMENT IN ACCORDANCE WITH FAA, JURISDICTION, AND/OR OTHER LOCAL REQUIREMENTS.
  - ROUTE PROPOSED CABLES ALONG SAME PATH AS EXISTING CABLES AND IN ACCORDANCE WITH STRUCTURAL ANALYSIS. WHERE POSSIBLE UTILIZE EXISTING CABLE SUPPORT STRUCTURES AS PROVIDED FOR CARRIER TO ADEQUATELY SECURE CABLES, USING EITHER APPROPRIATELY SIZED STAINLESS STEEL SNAP-INS OR MOUNTING HARDWARE AND BRACKETS AS SPECIFIED BY CABLE MANUFACTURER. OTHERWISE, ATTACH CABLES TO HORIZONTAL OR DIAGONAL TOWER MEMBERS USING PROPOSED STAINLESS STEEL ADAPTERS (DO NOT ATTACH TO TOWER LEG).
  - TOWER ELEVATIONS ARE MEASURED FROM TOP OF BASE PLATE TO MATCH STRUCTURAL ANALYSIS. ELEVATIONS DO NOT REFLECT TRUE ABOVE GROUND LEVEL (A.G.L.)
  - TOWER ELEVATION DEPICTION MAY NOT REFLECT ALL EQUIPMENT INCLUDED IN STRUCTURAL ANALYSIS. REFER TO STRUCTURAL ANALYSIS FOR FULL TOWER LOADING.

1 TOWER ELEVATION  
SCALE: N.T.S.



Colliers Engineering & Design

www.colliersengineering.com

Doing Business as MASER CONSULTING

ALBANY

18 Computer Drive East,

Suite 203

Albany, NY 12205

Phone: 518.459.3252

COLLIERS ENGINEERING & DESIGN CT, P.C.

DOING BUSINESS AS MASER CONSULTING

ENGINEERING & LAND SURVEYING

Copyright © 2021, Colliers Engineering & Design, All Rights Reserved. This drawing and all the information contained herein is confidential and may only be used by the party for whom the services were completed or to whom it is issued. This drawing may not be copied, reprinted, distributed, or used for any other purpose without the express written consent of Colliers Engineering & Design.

REV.	DESCRIPTION	BY	DATE
A	PRELIM	JV	07/07/21
B	FOR CONSTRUCTION	AMN	07/23/21

ATC SITE NUMBER:  
307198

ATC SITE NAME:  
ACKER

VERIZON SITE NAME:  
GHENT

SITE ADDRESS:  
77 LOUDEN ROAD  
GHENT, NY 12075

SEAL:



verizon

DATE DRAWN:	07/07/21
ATC JOB NO:	13668656_D1
CUSTOMER ID:	GHENT
CUSTOMER #:	180544

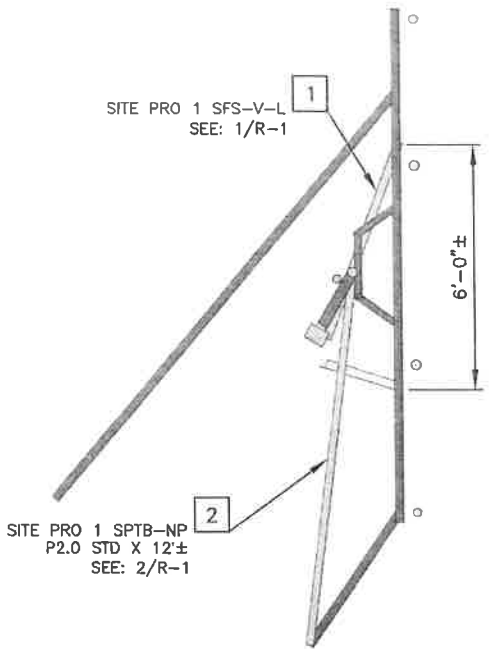
TOWER ELEVATION

SHEET NUMBER:

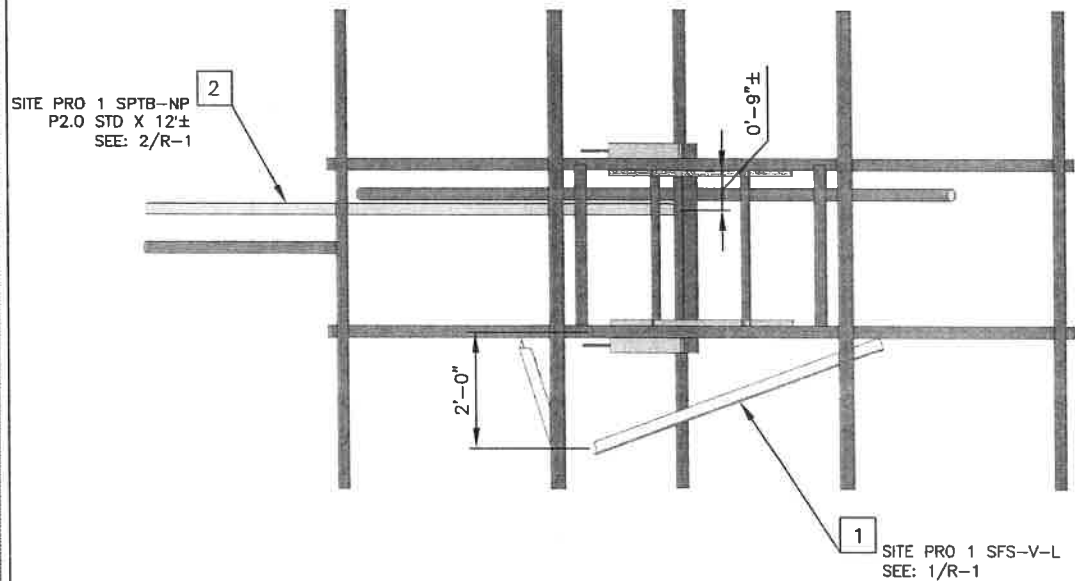
C-201

REVISION:

0



1 MOUNT PLAN VIEW  
S-1 SCALE: N.T.S.



2 MOUNT ELEVATION VIEW  
S-1 SCALE: N.T.S.

MODIFICATION SCHEDULE

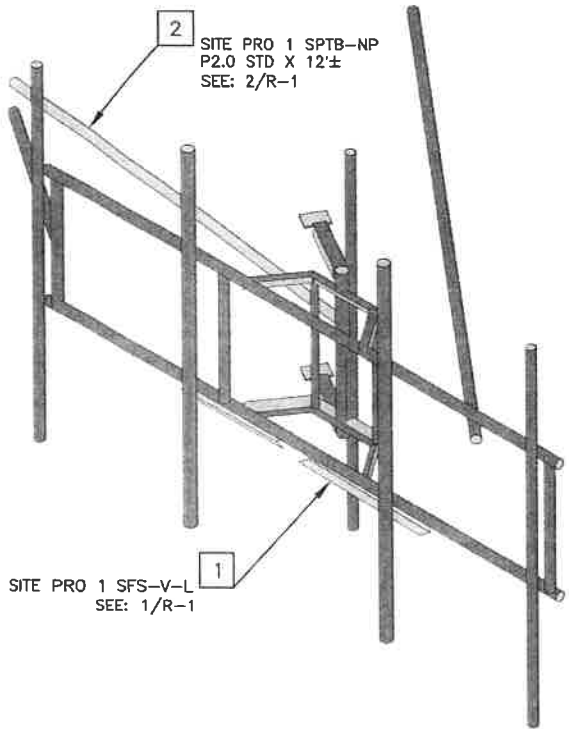
NO.	ELEVATION	SCOPE	MATERIAL	NOTES
1	143±	INSTALL STABILIZER REINFORCEMENT TO EXISTING BOTTOM HORIZONTAL WITH 6'-0"± BETWEEN ANGLE CONNECTORS. ATTACH BACK TO TOWER LEG 2'-0" BELOW BOTTOM HORIZONTAL. FIELD CUT ANGLES TO LENGTH AS THEY WILL BE SKEWED TO ACCOUNT FOR MOUNT ORIENTATION.	(3) SITE PRO 1 SFS-V-L	R-1
2	143±	INSTALL NEW STIFF ARM TO CENTER PIVOT PIPE WITHIN 0'-9" OF CONNECTION TO ANGLE FRAME. CONNECT HORIZONTALLY BACK TO ADJACENT TOWER LEG. FIELD CUT PIPE TO LENGTH AS NEEDED.	(3) SITE PRO 1 SPTB-NP (3) P2.0 STD X 12"±	R-1

DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR THE SAME.

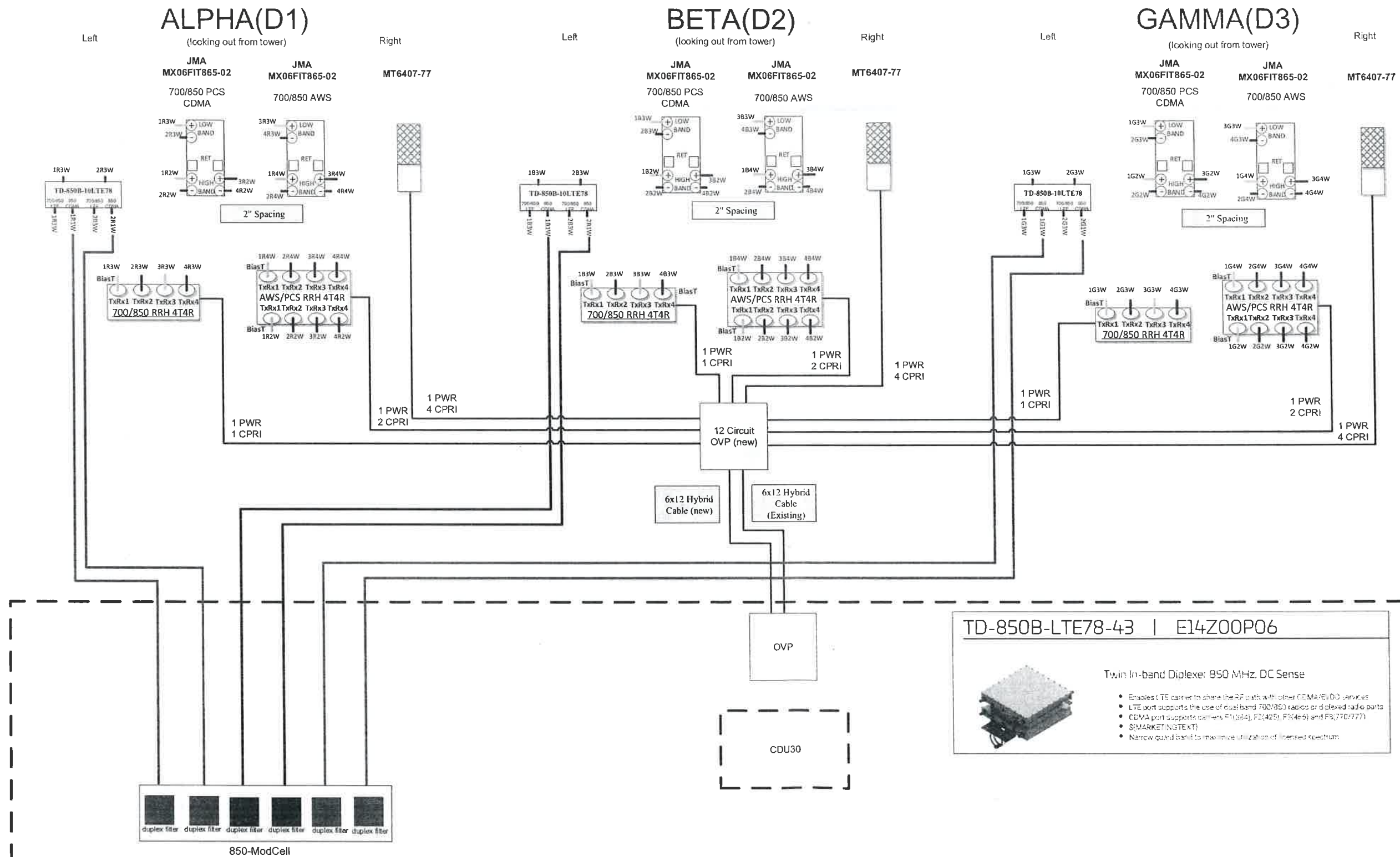
CONSTRUCTION NOTES

- SCOPE OF WORK MUST BE COMPLETED AT WIND SPEEDS < 20 MPH.
- ALL DIMENSIONS ARE APPROXIMATE, CONTRACTOR SHOULD FIELD VERIFY ALL DIMENSIONS BEFORE FABRICATION OF STEEL AND COMMENCEMENT OF WORK. FIELD CUT MEMBERS AS REQUIRED.
- INSTALL MODIFICATIONS PER MANUFACTURERS INSTRUCTIONS.



3 MOUNT ISOMETRIC VIEW  
S-1 SCALE: N.T.S.

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT. PLEASE REFERENCE THE MOUNT ANALYSIS REPORT FOR COMPLETE MOUNT ANALYSIS CALCULATIONS AND DETAILS. SUPPLEMENTAL PAGES INCLUDED IN THE CONSTRUCTION DRAWINGS ARE FOR REFERENCE ONLY. GENERAL CONTRACTOR IS TO VERIFY THEY HAVE THE MOST RECENT MOUNT ANALYSIS PRIOR TO CONSTRUCTION.



## GHENT - C-BAND UPGRADE - PROPOSED ANTENNA LAYOUT

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT.

SUPPLEMENTAL

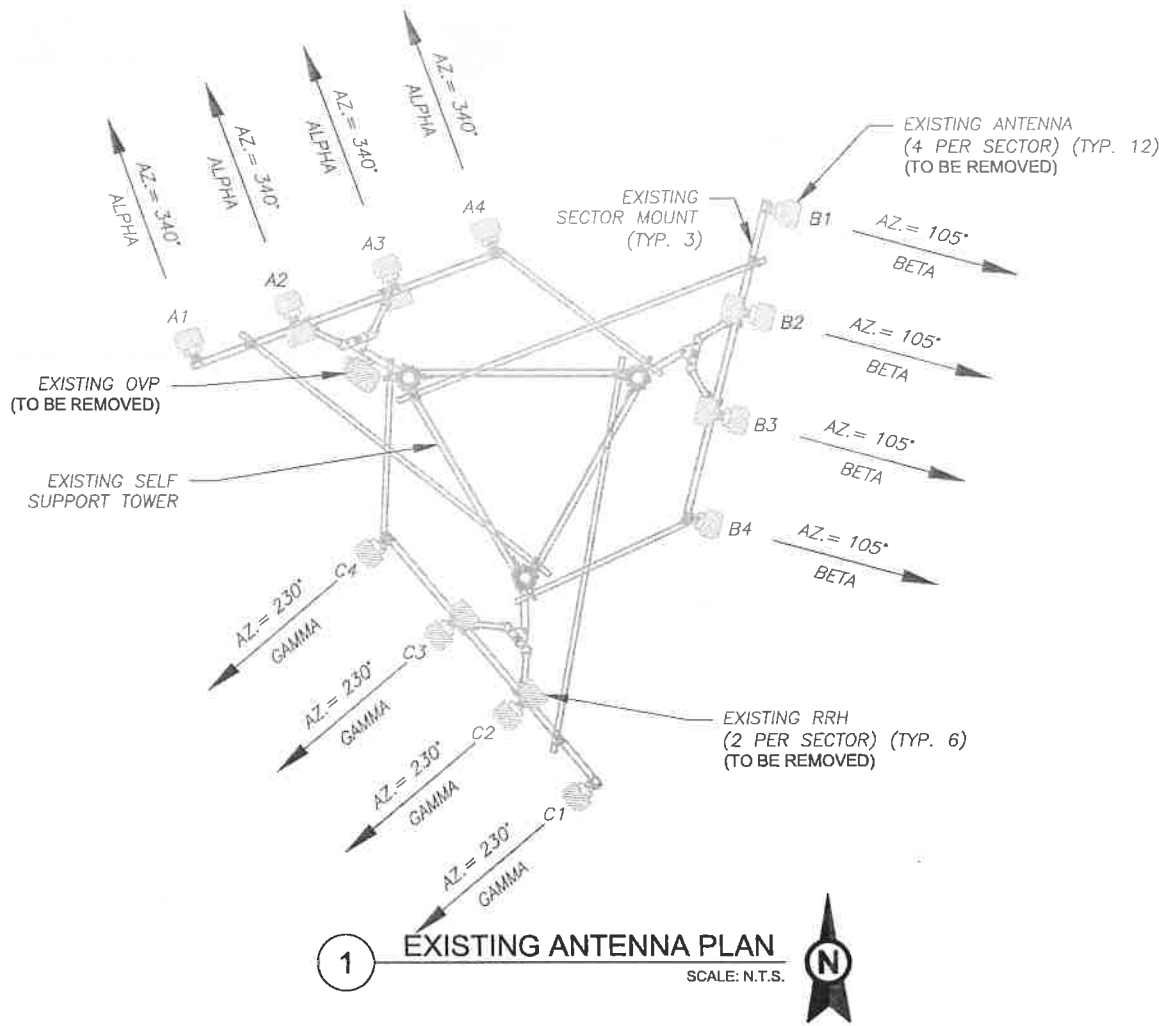
SHEET NUMBER:

R-603

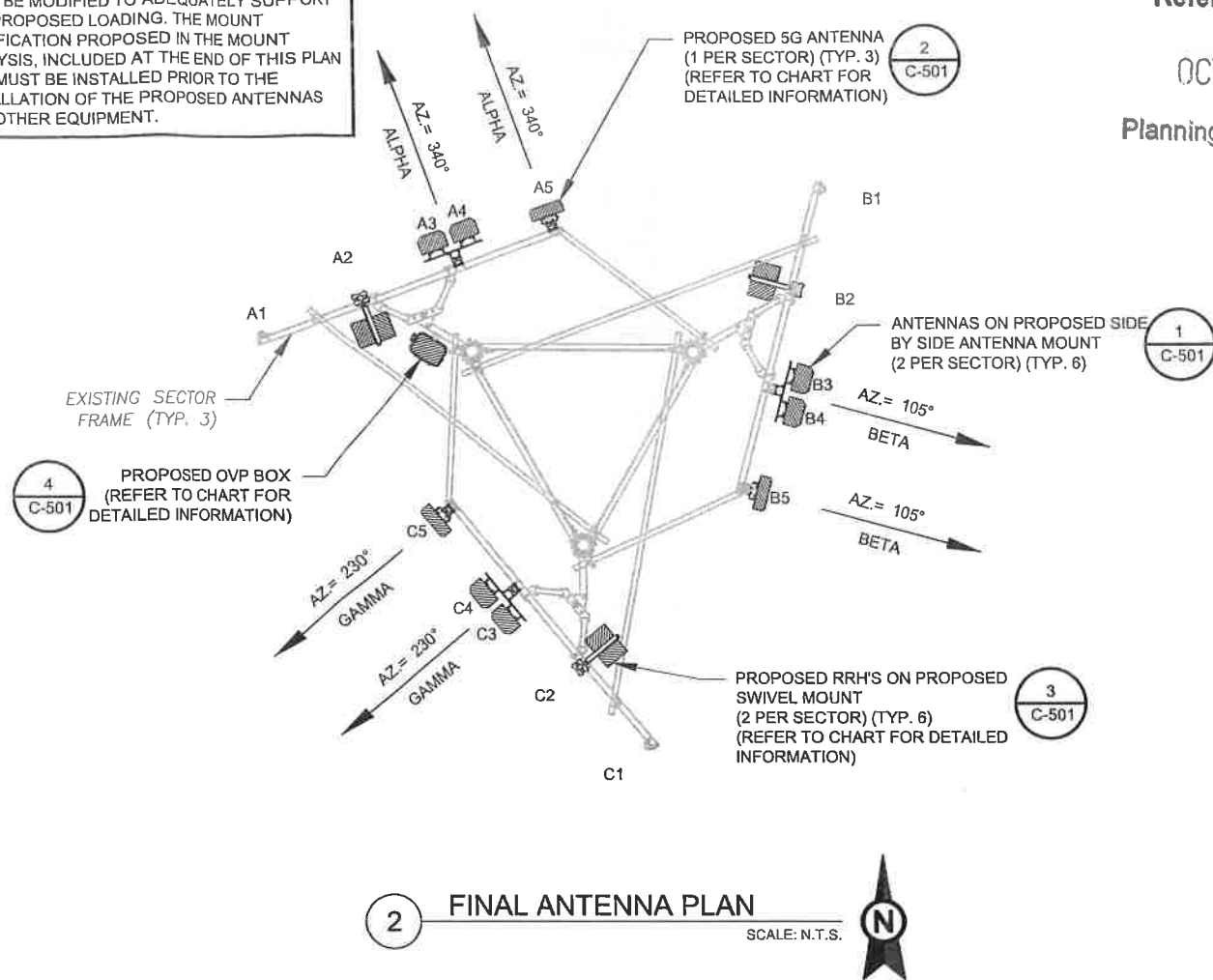
REVISION:

-





PER MOUNT ANALYSIS COMPLETED BY KIMLEY HORN, DATED 6/15/21, THE EXISTING MOUNT MUST BE MODIFIED TO ADEQUATELY SUPPORT THE PROPOSED LOADING. THE MOUNT MODIFICATION PROPOSED IN THE MOUNT ANALYSIS, INCLUDED AT THE END OF THIS PLAN SET, MUST BE INSTALLED PRIOR TO THE INSTALLATION OF THE PROPOSED ANTENNAS AND OTHER EQUIPMENT.



EXISTING ANTENNA SCHEDULE								
LOCATION			ANTENNA SUMMARY				NON ANTENNA SUMMARY	
SECTOR	RAD	AZ	POS	ANTENNA	BAND	MECH/ELEC D-TILT	STATUS	ADDITIONAL TOWER MOUNTED EQUIPMENT
ALPHA	144°	340°	A1	X7C-865-VRO	LTE	0/0	RMV	-
			A2	X7CQAP-86-865-VRO	LTE	0/0	RMV	UHBA B13 RRH 4X30
			A3	X7CQAP-86-865-VRO	LTE	0/0	RMV	UHIE B66A RRH 4X45
			A4	X7C-865-VRO	LTE	0/0	RMV	-
BETA	144°	105°	B1	X7C-880-VRO	LTE	0/0	RMV	-
			B2	X7CQAP-86-865-VRO	LTE	0/0	RMV	UHBA B13 RRH 4X30
			B3	X7CQAP-86-865-VRO	LTE	0/0	RMV	UHIE B66A RRH 4X45
			B4	X7C-880-VRO	LTE	0/0	RMV	-
GAMMA	144°	230°	C1	X7C-865-VRO	LTE	0/0	RMV	-
			C2	X7CQAP-86-865-VRO	LTE	0/0	RMV	UHBA B13 RRH 4X30
			C3	X7CQAP-86-865-VRO	LTE	0/0	RMV	UHIE B66A RRH 4X45
			C4	X7C-865-VRO	LTE	0/0	RMV	-

NOTES

1. CONFIRM WITH VERIZON REP FOR APPLICABLE UPDATES/REVISIONS AND MOST RECENT RFDS FOR NSN CONFIGURATION (CONFIG). GC TO CAP ALL UNUSED PORTS.

2. CONFIRM SPACING OF PROPOSED EQUIP DOES NOT CAUSE TOWER CONFLICTS NOR IMPEDE TOWER CLIMBING PEGS.

STATUS ABBREVIATIONS

RMV: TO BE REMOVED  
RMN: TO REMAIN  
REL: TO BE RELOCATED  
ADD: TO BE ADDED

CABLE LENGTHS FOR JUMPERS  
JUNCTION BOX TO RRU: 15'  
RRU TO ANTENNA: 10'

FINAL ANTENNA SCHEDULE									
LOCATION			ANTENNA SUMMARY				NON ANTENNA SUMMARY		
SECTOR	RAD	AZ	POS	ANTENNA	BAND	MECH/ELEC D-TILT	STATUS	ADDITIONAL TOWER MOUNTED EQUIPMENT	STATUS
ALPHA	144°	340°	A1	-	-	-	-	-	-
			A2	-	-	-	-	B2/B66A RRH-BR049 B5/B13 RRH-BR04C	ADD
			A3	MX06FIT865-02	LTE 700/850/1900/AWS	2 / 4	ADD	-	-
			A4	MX06FIT865-02	LTE 700/850/1900/AWS	2 / 2	ADD	-	-
			A5	MT6407-77A	5G	0 / 6	ADD	-	-
BETA	144°	105°	B1	-	-	-	-	-	-
			B2	-	-	-	-	B2/B66A RRH-BR049 B5/B13 RRH-BR04C	ADD
			B3	MX06FIT865-02	LTE 700/850/1900/AWS	2 / 2	ADD	-	-
			B4	MX06FIT865-02	LTE 700/850/1900/AWS	2 / 2	ADD	-	-
			B5	MT6407-77A	5G	0 / 6	ADD	-	-
GAMMA	144°	230°	C1	-	-	-	-	-	-
			C2	-	-	-	-	B2/B66A RRH-BR049 B5/B13 RRH-BR04C	ADD
			C3	MX06FIT865-02	LTE 700/850/1900/AWS	2 / 8	ADD	-	-
			C4	MX06FIT865-02	LTE 700/850/1900/AWS	2 / 4	ADD	-	-
			C5	MT6407-77A	5G	0 / 6	ADD	-	-

EXISTING FIBER DISTRIBUTION/OVP BOX		EXISTING CABLING SUMMARY		
MODEL NUMBER	STATUS	COAX	HYBRID	STATUS
-	-	(6) 1-5/8"	(1) 1-5/8"	RMN
RRFDC-3315-PF-48	RMV	(12) 1-5/8"	-	RMV

3 EQUIPMENT SCHEDULES

FINAL FIBER DISTRIBUTION / OVP BOX		FINAL CABLING SUMMARY		
MODEL NUMBER	STATUS	COAX	HYBRID	STATUS
-	-	(6) 1-5/8"	(1) 1-5/8"	RMN
RCMDC-6627-PF-48	ADD	-	(1) 1-5/8"	ADD

Reference Material

OCT 07 2021

Planning Board Meeting

Colliers Engineering & Design

www.colliersengineering.com

Doing Business as MASER

ALBANY

18 Computer Drive East,

Suite 203

Albany, NY 12205

Phone: 518.459.3252

COLLIERS ENGINEERING & DESIGN, P.C.

DOING BUSINESS AS MASER CONSULTING

ENGINEERING & LAND SURVEYING

Copyright © 2021, Colliers Engineering & Design All Rights Reserved. This drawing and all the

information contained herein is submitted for use only by the party for whom the services were

performed or to whom it is loaned. This drawing may not be copied, reprinted, modified, or used

in any way without the express written consent of Colliers Engineering & Design.

REV.	DESCRIPTION	BY	DATE
A	PRELIM	JV	07/07/21
B	FOR CONSTRUCTION	AMN	07/23/21

ATC SITE NUMBER:

307198

ATC SITE NAME:

ACKER

VERIZON SITE NAME:

GHENT

SITE ADDRESS:

77 LOUDEN ROAD

GHENT, NY 12075

SEAL:



verizon

DATE DRAWN:	07/07/21
ATC JOB NO:	13668656_D1
CUSTOMER ID:	GHENT
CUSTOMER #:	180544

ANTENNA INFORMATION & SCHEDULE

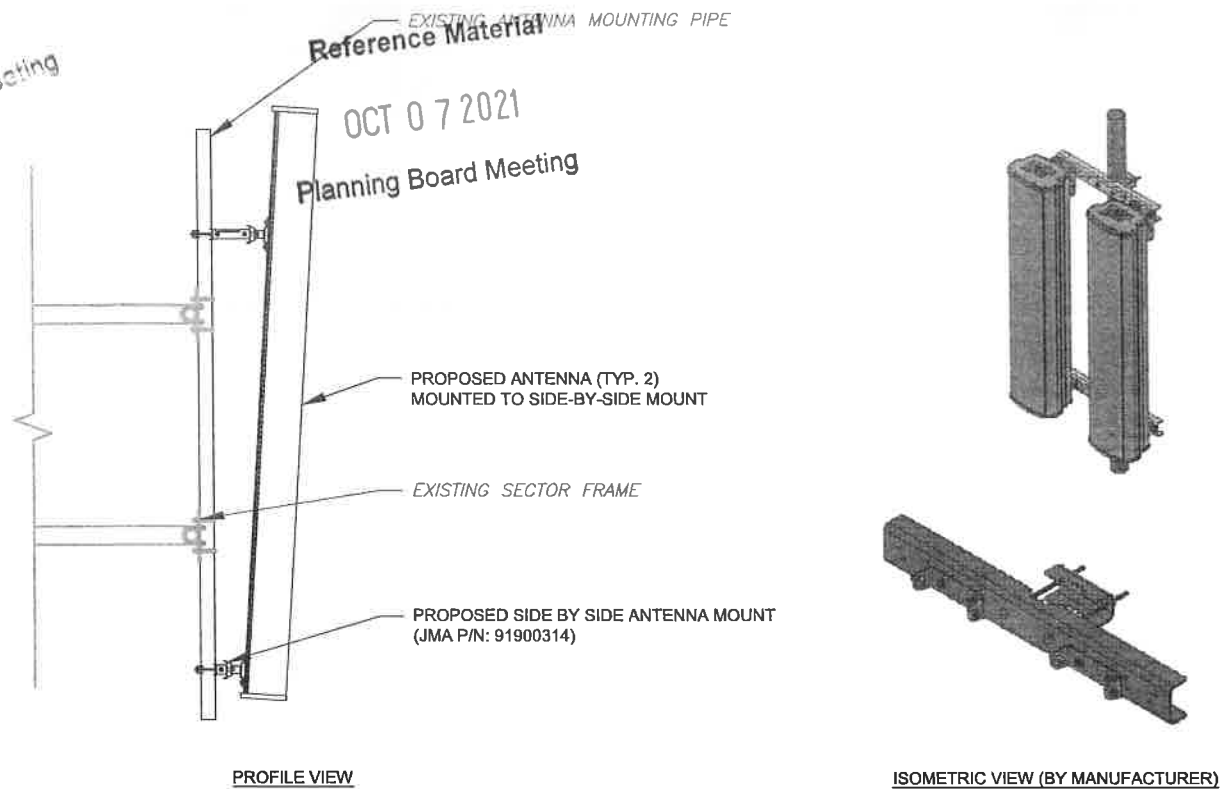
SHEET NUMBER:

C-401

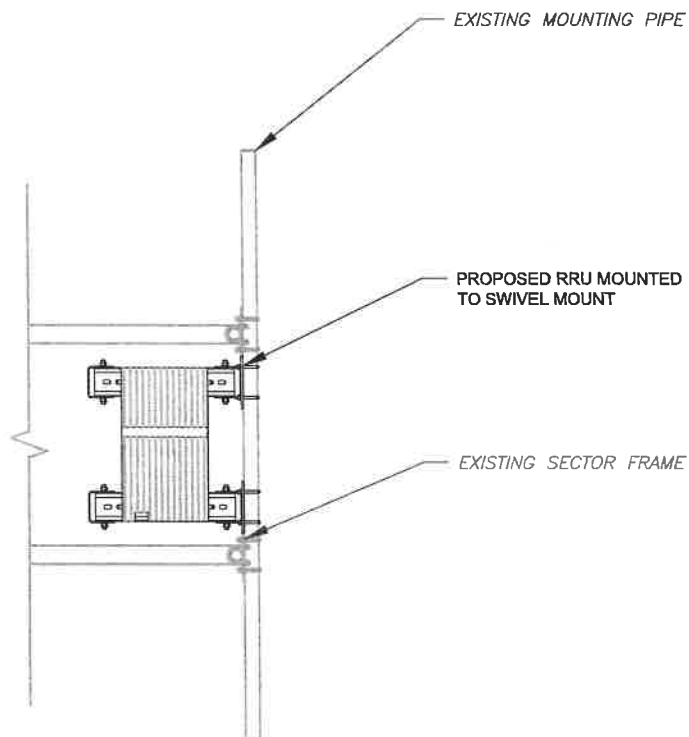
REVISION:

0

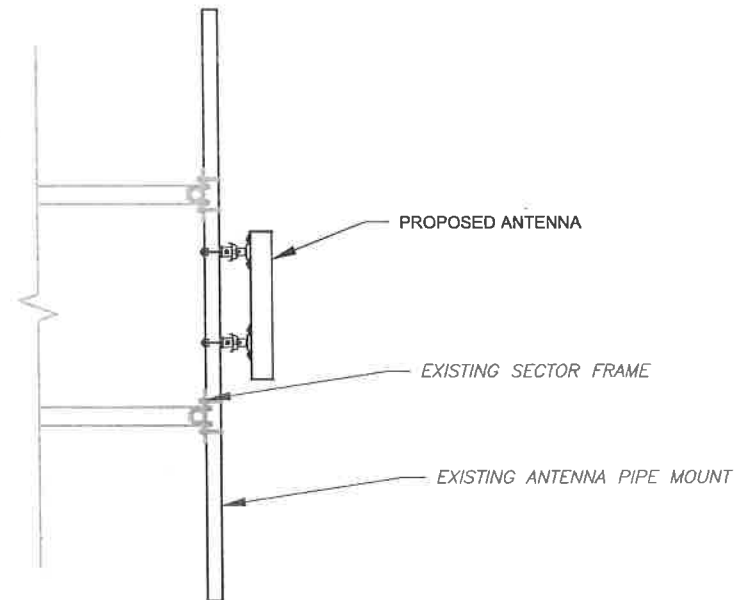
Material  
7 2021  
card Meeting



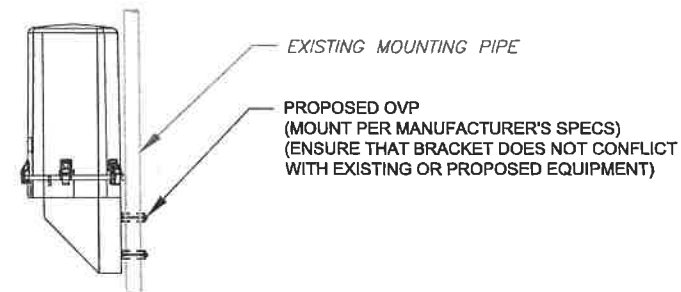
1 PROPOSED SIDE-BY-SIDE MOUNT  
SCALE: NOT TO SCALE



3 PROPOSED RRU MOUNTING DETAIL - TYPICAL  
SCALE: N.T.S.



2 PROPOSED 5G ANTENNA MOUNTING DETAIL - TYPICAL  
SCALE: N.T.S.



4 PROPOSED OVP MOUNTING  
SCALE: N.T.S.



Colliers Engineering & Design

www.colliersengineering.com  
Doing Business as MASER  
ALBANY  
18 Computer Drive East,  
Suite 203  
Albany, NY 12205  
Phone: 518.459.3252  
COLLIERS ENGINEERING & DESIGN CT, P.C.  
DOING BUSINESS AS MASER CONSULTING  
ENGINEERING & LAND SURVEYING  
Copyright © 2021 Colliers Engineering & Design All Rights Reserved. This drawing and all the  
information contained herein is authorized for use only by the party for whom the services were  
consulted or to whom it is verified. This drawing may not be copied, reused, disclosed, distributed or  
reproduced for any other purpose without the express written consent of Colliers Engineering & Design.

REV.	DESCRIPTION	BY	DATE
A	PRELIM	JV	07/07/21
0	FOR CONSTRUCTION	AMN	07/23/21

ATC SITE NUMBER:  
307198

ATC SITE NAME:  
ACKER

VERIZON SITE NAME:  
GHENT

SITE ADDRESS:  
77 LOUDEN ROAD  
GHENT, NY 12075

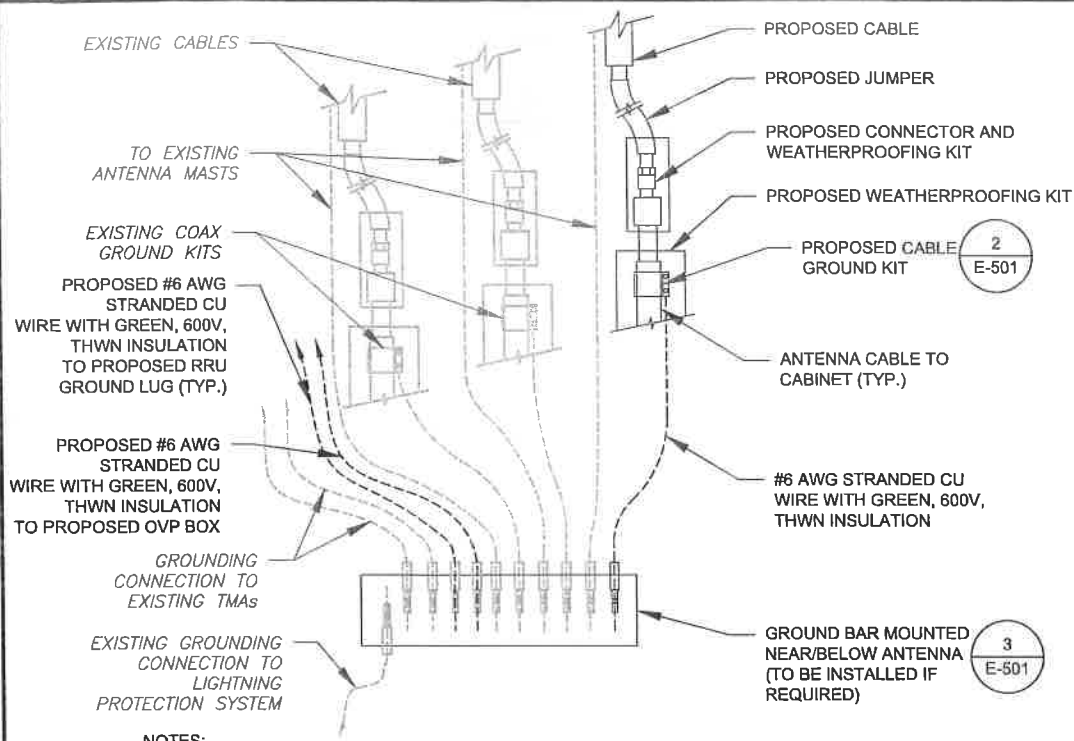
SEAL:



DATE DRAWN:	07/07/21
ATC JOB NO:	13668656_D1
CUSTOMER ID:	GHENT
CUSTOMER #:	180544

CONSTRUCTION  
DETAILS

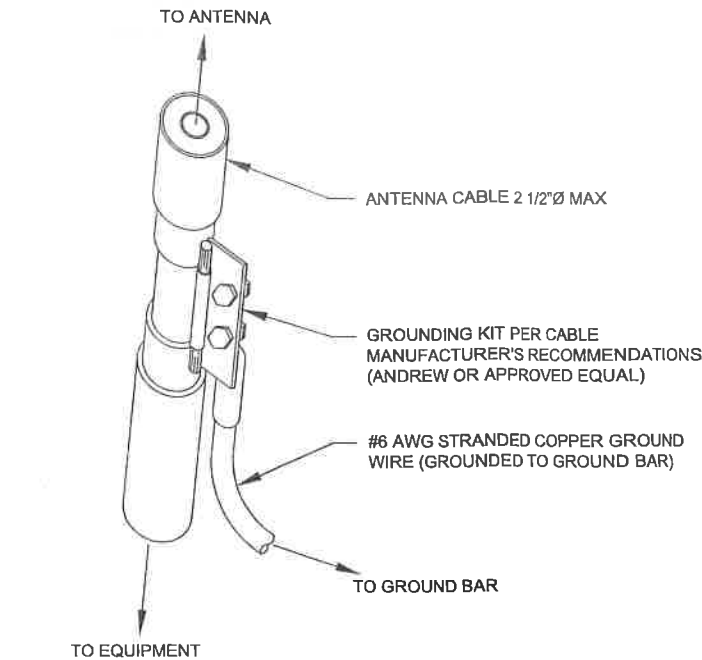
SHEET NUMBER:	REVISION:
C-501	0



NOTES:

1. THIS DETAIL IS INTENDED TO SHOW THE GENERAL GROUNDING REQUIREMENTS. SLIGHT ADJUSTMENTS MAY BE REQUIRED BASED ON EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS AS NEEDED AND INFORM THE CONSTRUCTION MANAGER OF ANY CONFLICTS.
2. SITE GROUNDING SHALL COMPLY WITH VERIZON GROUNDING STANDARDS, LATEST EDITION, AND COMPLY WITH VERIZON GROUNDING CHECKLIST, LATEST VERSION. WHEN NATIONAL AND LOCAL GROUNDING CODES ARE MORE STRINGENT THEY SHALL GOVERN.

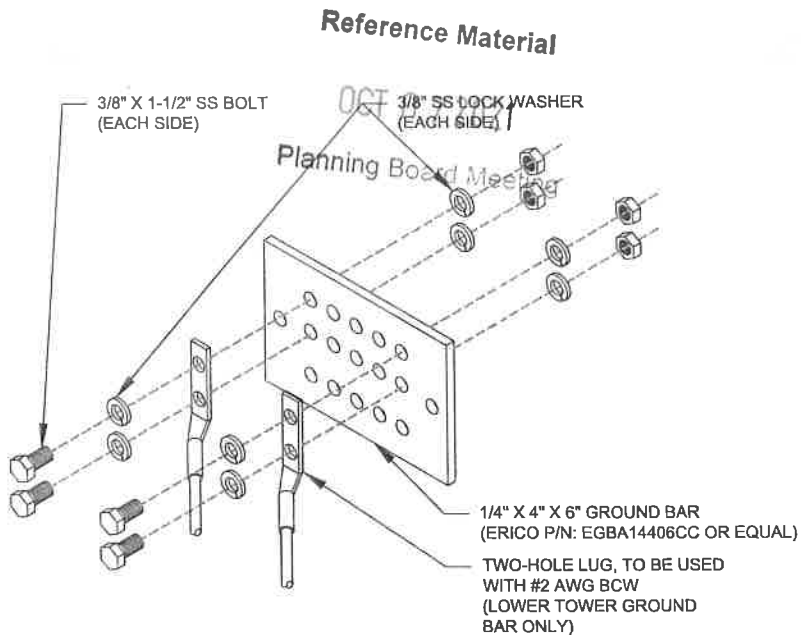
1 TYPICAL ANTENNA GROUNDING DIAGRAM  
SCALE: N.T.S.



GROUND KIT NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. CONTRACTOR SHALL PROVIDE WEATHERPROOFING KIT (ANDREW PART NUMBER 221213) AND INSTALL/TAPE PER MANUFACTURER'S SPECIFICATIONS.

2 CABLE GROUND KIT CONNECTION DETAIL  
SCALE: N.T.S.



GROUND BAR NOTES:

1. GROUND BAR KITS COME WITH ALL HARDWARE, NUTS, BOLTS, WASHERS, ETC. EXCEPT THE STRUCTURAL MOUNTING MEMBER(S).
2. GROUND BAR TO BE BONDED DIRECTLY TO TOWER.

3 TOWER GROUND BAR DETAIL  
SCALE: N.T.S.

**AMERICAN TOWER®**

**Colliers Engineering & Design**

www.colliersengineering.com

Doing Business as **MASER CONSULTING**

ALBANY

18 Computer Drive East,  
Suite 203  
Albany, NY 12205  
Phone: 518.459.3252

COLLIERS ENGINEERING & DESIGN, INC.,  
DOING BUSINESS AS MASER CONSULTING  
ENGINEERING & LAND SURVEYING  
Copyright © 2014, Colliers Engineering & Design. All Rights Reserved. This drawing and all the  
information contained herein is authorized for use only by the party for whom the services were  
contracted or to whom it is certified. This drawing may not be copied, revised, distributed, sold, leased or  
relet upon for any other purpose without the express written consent of Colliers Engineering & Design.

REV.	DESCRIPTION	BY	DATE
A	PRELIM	JV	07/07/21
B	FOR CONSTRUCTION	AMN	07/23/21
C			
D			
E			

ATC SITE NUMBER:  
**307198**

ATC SITE NAME:  
**ACKER**

VERIZON SITE NAME:  
**GHENT**

SITE ADDRESS:  
**77 LOUDEN ROAD  
GHENT, NY 12075**

SEAL:

**verizon**

DATE DRAWN:	07/07/21
ATC JOB NO:	13668656_D1
CUSTOMER ID:	GHENT
CUSTOMER #:	180544

**GROUNDING DETAILS**

SHEET NUMBER: <b>E-501</b>	REVISION: <b>0</b>
-------------------------------	-----------------------

Reference Material  
OCT 07 2021  
Planning Board Meeting



This report was prepared for American Tower Corporation by

Kimley»Horn

### Antenna Mount Analysis Report

ATC Site Name : ACKER  
ATC Site Number : 307198  
Engineering Number : 13668656\_C9\_04  
Mount Elevation : 143 ft  
Carrier : Verizon Wireless  
Carrier Site Name : GHENT  
Carrier Site Number : 180544  
Site Location : 77 Louden Road  
Ghent, NY 12075  
42.28738056, -73.59192778  
County : Columbia  
Date : June 15, 2021  
Max Usage : 70%  
Result : Pass – Pending Mods

Prepared By:  
Rich Lam  
E.I.T.

Reviewed By:  
Michael Oglesby  
P.E.



6/16/2021

Kimley-Horn Of New York, P.C. COA #80369

Kimley-Horn and Associates, Inc. – 421 Fayetteville St., Suite 600 – Raleigh, NC 27601 – 919.677.2000 Office - www.kimley-horn.com



Eng. Number 13668656\_C9\_04  
June 15, 2021  
Page 2

### Antenna Loading

Mount Centerline (ft)	Antenna Centerline (ft)	Qty	Antenna Model
143	146.5	3	Samsung MT6407-77A
	144	6	JMA Wireless MX06FIT865-02 (71lbs)
		3	Commscope TD-850B-LTE78-43
		1	Raycap RCMD-6627-PF-48
		3	Samsung B5/B13 RRH-BR04C
		3	Samsung B2/B66A RRH-BR049

### Structure Usages

Structural Component	Controlling Usage	Pass/Fail
Offset Horizontals	17%	Pass
Offset Frame	70%	Pass
Bracing Members	46%	Pass
Face Horizontals	48%	Pass
Mount Pipes	30%	Pass
Stiff Arms	48%	Pass

Kimley-Horn and Associates, Inc. – 421 Fayetteville St., Suite 600 – Raleigh, NC 27601 – 919.677.2000 Office - www.kimley-horn.com

NOTE: THIS SHEET WAS CREATED BY OTHERS AND PROVIDED AT THE REQUEST OF THE CUSTOMER WITHOUT EDIT. PLEASE REFERENCE THE MOUNT ANALYSIS REPORT FOR COMPLETE MOUNT ANALYSIS CALCULATIONS AND DETAILS. SUPPLEMENTAL PAGES INCLUDED IN THE CONSTRUCTION DRAWINGS ARE FOR REFERENCE ONLY. GENERAL CONTRACTOR IS TO VERIFY THEY HAVE THE MOST RECENT MOUNT ANALYSIS PRIOR TO CONSTRUCTION.

SUPPLEMENTAL

SHEET NUMBER:

R-601

REVISION:

-



Product Specifications

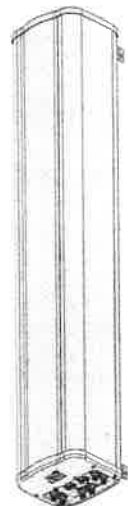
MX06FIT665-02

NWAV™ X-Pol Antenna | Hex-Port | 6 ft | 65°



X-Pol, Hex-Port 6 ft 65° Form In Tighter with Smart Bias T  
(2) 698–894 MHz & (4) 1695–2180 MHz

- Excellent Passive Intermodulation (PIM) performance reduces harmful interference
- Fully integrated (iRETs) with *independent* RET control for low and high bands for ease of network optimization
- SON-Ready array spacing supports beamforming capabilities
- Suitable for LTE/CDMA/PCS/UMTS/GSM Air interface technologies
- Integrated Smart BIAS-Ts reduces leasing costs
- Optimized width for reduced wind loading

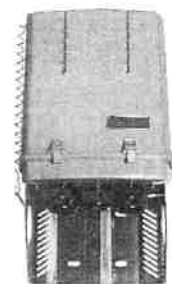


NWAV

Electrical Specification (Minimum/ Maximum)	Ports 1,2		Ports 3,4,5,6		
Frequency bands, MHz	698–798	824–894	1695–1880	1850–1990	1920–2180
Polarization	± 45 <sup>o</sup>		± 45 <sup>o</sup>		
Average gain over all tilts, dBi	14.4	14.8	17.8	18.1	18.2
Horizontal beamwidth (HBW), degrees <sup>1</sup>	66.0	57.0	63.0	63.0	58.0
Front-to-back ratio, co-polar power @180 <sup>o</sup> ± 30 <sup>o</sup> , dB	>22	>22.0	>25.0	>25.0	>25.0
X-Pol discrimination (CPR) at boresight, dB	>17.0	>15.6	>23	>18	>18
Sector power ratio, percent <sup>1</sup>	<5.0	<3.0	<4.6	<3.8	<5.0
Vertical beamwidth, (VBW), degrees <sup>1</sup>	13.5	12.0	6.0	5.5	5.4
Electrical downtilt (EDT) range, degrees	2-14	2-14	0-9		
First upper side lobe (USLS) suppression, dB <sup>1</sup>	≤ -17.0	≤ -16.0	≤ -17.0	≤ -16.0	≤ -16.0
Minimum cross-polar isolation, port-to-port, dB	25	25	25	25	25
Maximum VSWR/ return loss, dB	1.5/ -14.0	1.5/ -14.0	1.5/ -14.0	1.5/ -14.0	1.5/ -14.0
Maximum passive Intermodulation (PIM), 2x 20W carrier, dBc	-153	-153	-153		
Maximum input power per any port, watts	300		250		
Total composite power all ports, watts	1500				

<sup>1</sup> Typical value over frequency and tilt

## Product Specifications



RCMDC-6627-PF-48

Raycap OVP box for 12 RRUs, 12 strikesorb modules, voltage indicator, large box, UL

### Product Classification

Portfolio	CommScope®
Product Type	Outdoor junction box
Regional Availability	North America

### Construction Materials

Material Type	High-impact polycarbonate, UV resistant
---------------	---

### Dimensions

Depth	320.04 mm   12.60 in
Height	749.30 mm   29.50 in
Width	419.10 mm   16.50 in
Weight	14.51 kg   32.00 lb

### Environmental Specifications

Environmental Space	Indoor   Outdoor
Qualification Standards	IEC 60529:2001, IP67

### General Specifications

Application	Used as a fiber/power junction box
Color	Gray
Includes	Mounting kit
Mount Type	Pipe, 44–114 mm (1.75–4.5 in) OD   Wall

### Mechanical Specifications

Cable Entry, quantity, maximum, bottom 6

### Regulatory Compliance/Certifications

Agency	Classification
UL/ETL Certification	Compliant Designed, manufactured and/or distributed under this quality management system
RoHS 2011/65/EU	
ISO 9001:2008	

Reference Material

OCT 07 2021

Planning  
COMMSCOPE®

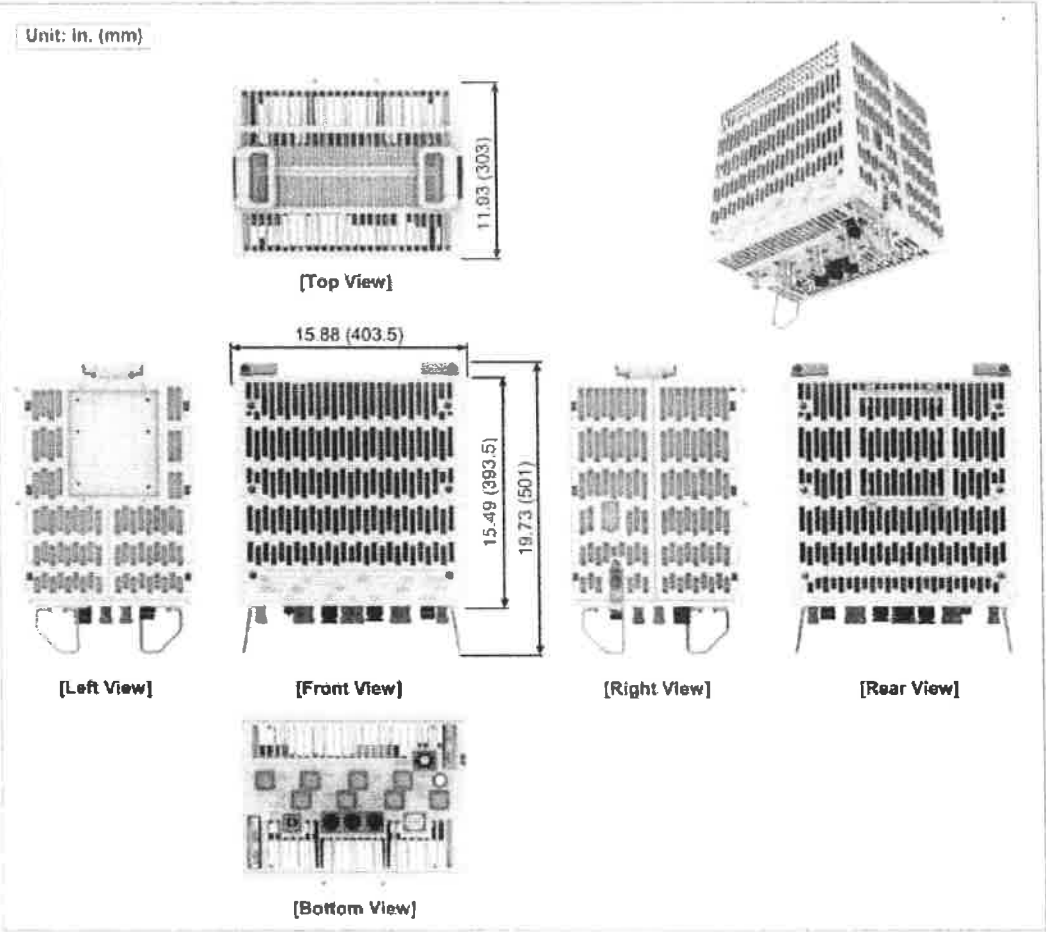
SUPPLEMENTAL

SHEET NUMBER:

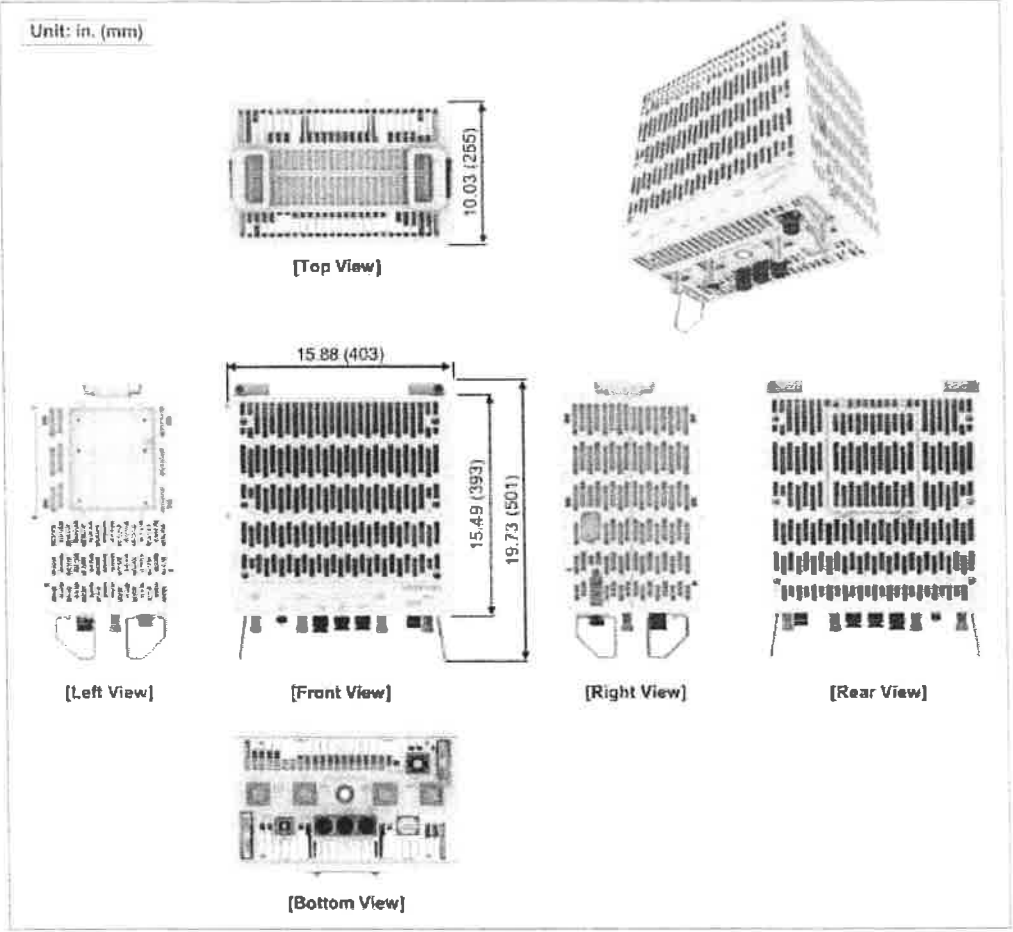
R-604

REVISION:

-



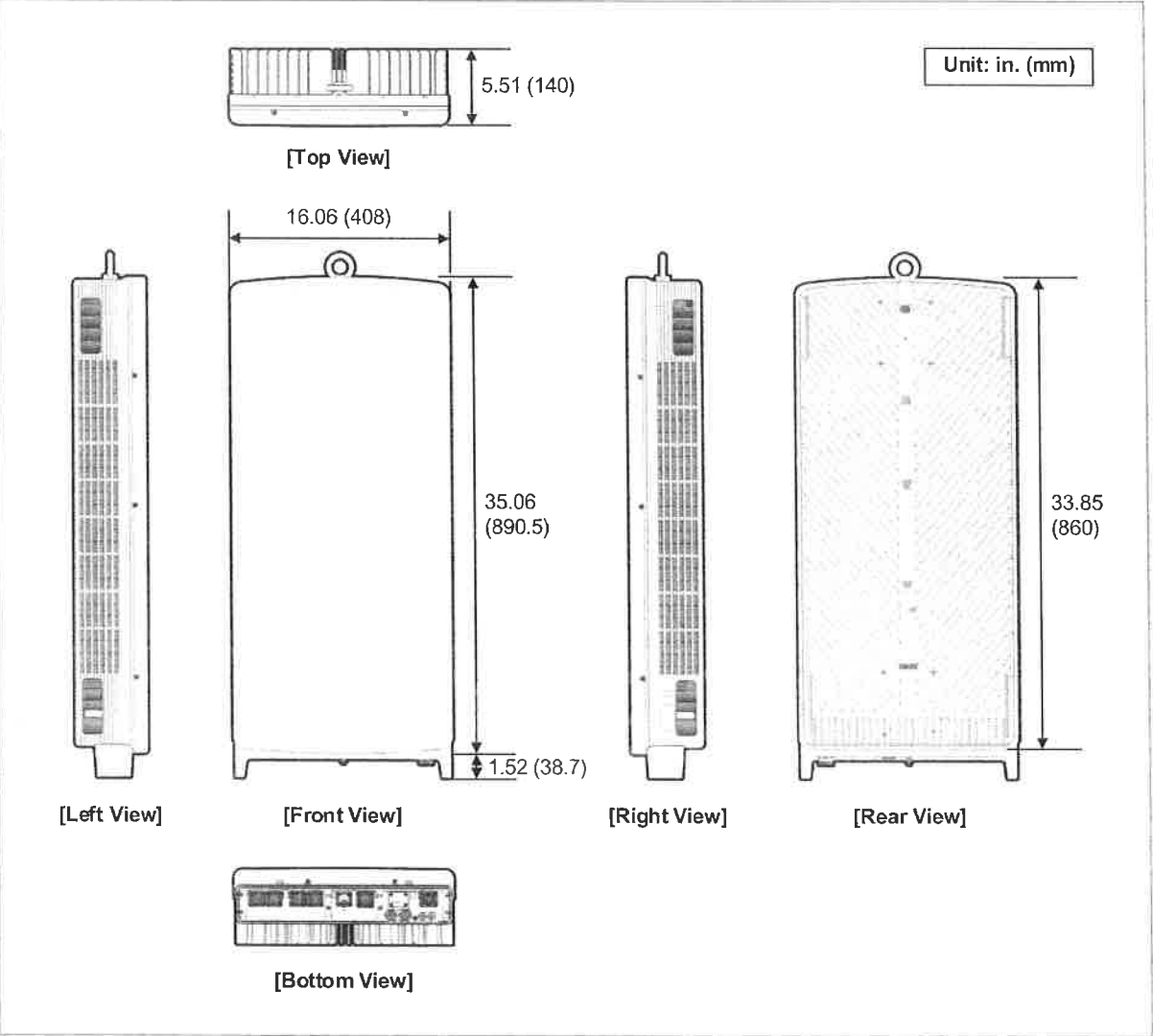
RFV01U-D1A



RFV01U-D2A

The following figures depict the physical views of the MT6407-77A.

Figure 1. Appearance



Specifications

The following table displays the main specifications of the MT6407-77A.

Table 2. Specifications

Item	Description
Air Technology	NR
Frequency	3700~3980 MHz
IBW	280 MHz
OBW	200 MHz
Carrier Bandwidth	20/40/60/80/100 MHz
Number of Carriers	2 carriers (Contiguous, Non-Contiguous) <ul style="list-style-type: none"><li>NR 1C: 20/40/60/80/100M</li><li>NR 1CC+1CC 20/40/60/80/100M + 20/40/60/80/100M</li></ul>
Layer	<ul style="list-style-type: none"><li>DL: 16 Layers</li><li>UL: 16 RX (8 Layers)</li></ul>
RF Chain	64T64R
Antenna Configuration	4 V16H with 192 AE
EIRP	78.5 dBm (53 dBm + 25.5 dBi)
Conductive Power	200 W
Spectrum Analyzer	TX/RX support
Modulation	DL 256QAM support, (DL 1024QAM with 1~2 dB power back-off)
Function Split	DL/UL Option 7-2x
Fronthaul Interface	CPRI, eCPRI
Optic Interface	4 ports (25 Gbps × 4), SFP28, single mode, Bi-di (Option: Duplex), 15 km
External Alarm	4 RX
Input Power	-48 VDC (-38 to -57 VDC)
Power Consumption[Note]	<ul style="list-style-type: none"><li>1,395 W @ 100 % RF load, room temperature</li><li>1,428 W @ 100 % RF load, all temperature</li><li>1,003 W @ 40% RF load, room temperature</li></ul>
Size (WHD)	408 × 890.5 × 140 mm (16.06 × 35.06 × 5.51 inch)
Volume	50.9 L
Weight	37 kg or less
Operating Temperature	-40~55 °C (w/o solar load)
Operating Humidity	5~100 % RH RH, non-condensing, not to exceed 30 g/m3 absolute humidity.
Waterproof/Dustproof	IEC 60529 IP65
Earthquake	Telcordia GR-63-Core, Zone4
Cooling	Natural convection
Mounting Options	Pole, wall

Reference Material  
OCT 07 2021  
Planning Board Meeting

SUPPLEMENTAL

SHEET NUMBER:

R-606

REVISION:

-